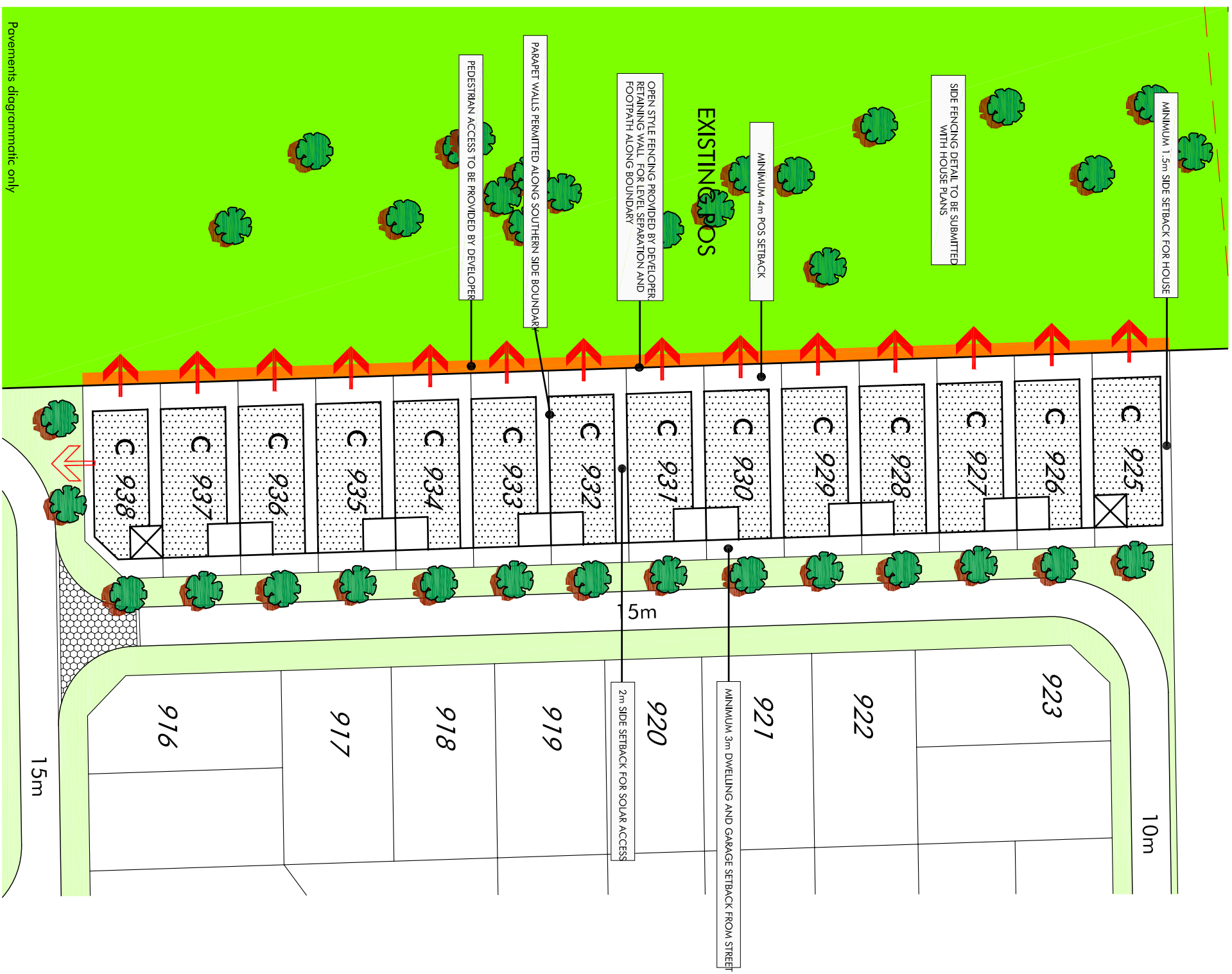


BYFORD CENTRAL  
DETAILED AREA PLAN OF LOTS 925-938



Pavements diagrammatic only

- R CODING**
1. THE RESIDENTIAL DESIGN CODE APPLYING TO THESE LOTS IS R30
- SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS**
2. THE SCHEME AND RESIDENTIAL DESIGN CODES ARE VARIED AS DESCRIBED IN THESE NOTATIONS.
  3. THE REQUIREMENTS OF THE SCHEME AND RESIDENTIAL DESIGN CODES SHALL BE SATISFIED IN ALL OTHER MATTERS HOWEVER.
- DESIGN ELEMENTS**
4. THE FOLLOWING MATTERS APPLY TO THE DEVELOPMENT OF LOTS AFFECTED BY THE DETAILED AREA PLAN.
    - (a) ALL HOUSES AND GARAGES MUST BE CONSTRUCTED WITHIN THE NOMINATED BUILDING ENVELOPE.
    - (b) AT LEAST ONE WINDOW OPENING IN AN INDOOR LIVING AREA IS TO BE INSTALLED ON THE SOUTHERN ELEVATION OF A DWELLING IN ORDER TO MAXIMISE SOLAR ORIENTATION.
    - (c) HOUSES ARE REQUIRED TO SUITABLY ADDRESS ADJACENT STREET FRONTAGES AS INDICATED, AS WELL AS THE ADJACENT AREA OF PUBLIC OPEN SPACE.

- ELEVATIONS, OUTDOOR LIVING AREAS AND POSTAL ADDRESSES**
5. HOUSES SHALL HAVE ONE OR MORE MAJOR OPENINGS TO A HABITABLE ROOM AND AN OUTDOOR LIVING AREA FACING THE PUBLIC OPEN SPACE.
  6. ACCESS TO UTILITIES IS TO BE FROM THE STREET FRONTAGES OF THE LOTS ONLY.
- SETBACKS**
7. SETBACKS FOR DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
    - FRONT SETBACK : MINIMUM 4m SETBACK FOR HOUSE
    - REAR SETBACK : MINIMUM 3m SETBACK FOR HOUSE AND GARAGE. AVERAGING OF FRONT SETBACK IS NOT PERMITTED.

- GARAGES, VEHICULAR ACCESS AND DRIVEWAYS**
8. GARAGES SHALL BE DEVELOPED AND ACCESSED FROM THE STREET FRONTAGE.
  9. GARAGES SHALL BE A MAXIMUM TWO CAR WIDTH ONLY (MAXIMUM 6M EXTERNAL WIDTH).
  10. EACH HOUSE SHALL HAVE A DRIVEWAY AND Crossover COMPLETED PRIOR TO OCCUPATION OF THE HOUSE.
  11. MAXIMUM WIDTH OF Crossover SHALL BE 6m.
  12. ALL DRIVEWAYS AND Crossovers SHALL BE BRICK PAVED OR ASPHALT SEALED OR OTHER SUITABLE MATERIALS TO THE SATISFACTION OF THE SHIRE.

- FENCING**
13. FENCING OF LOT BOUNDARIES ABUTTING STREET AND PUBLIC OPEN SPACE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CLAUSE 3.2.5.45 OF THE RESIDENTIAL DESIGN CODES (OPEN FEATURE FENCING); SOLID SCREEN FENCING HIGHER THAN 1.2m IS NOT PERMITTED BETWEEN DWELLINGS AND PUBLIC OPEN SPACE.
  14. FENCING OF BOUNDARIES BETWEEN LOTS IS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARD:
    - (a) ALL SIDE BOUNDARY FENCING 1.8m HIGH AND FULLY INSTALLED PRIOR TO OCCUPATION OF THE DWELLING.

- OUTBUILDINGS**
15. A STOREROOM OF 4m<sup>2</sup> FLOOR AREA SHALL BE INTEGRATED INTO THE DWELLING (ie UNDER THE SAME ROOF) AND CONSTRUCTED OF THE SAME MATERIALS. THIS ROOM SHALL ONLY BE ACCESSIBLE FROM OUTSIDE THE DWELLING. A 1m EXTENSION TO THE SIDE OR REAR OF THE GARAGE IS ACCEPTABLE IN LIEU OF PROVIDING A SEPARATE STOREROOM.
  16. NO ADDITIONAL SHEDS OR OUTBUILDINGS ARE PERMITTED ON LOTS.

- WASHING LINES AND RUBBISH BINS**
17. CLOTHES LINES AND RUBBISH BIN STORAGE MUST BE SCREENED FROM VIEW OF THE STREET AND PUBLIC OPEN SPACE AREA. MASONRY WALLS OR OTHER METHODS OF CONSTRUCTION TO MATCH THE MATERIALS USED FOR THE DWELLING AND WITH A HEIGHT OF 1.8 METRES.

- AIR CONDITIONING / COOLING UNITS AND SOLAR HOT WATER SYSTEMS**
18. AIR CONDITIONING / COOLING UNITS MUST BE OF SIMILAR COLOUR TO THE ROOF AND MUST NOT PROTRUDE ABOVE ANY ROOF RIDGELINES OR GABLES. UNITS ARE NOT TO BE VISIBLE FROM THE ADJACENT FRONT STREET OR PUBLIC OPEN SPACE AREAS AND MUST BE POSITIONED TO PREVENT NOISE IMPACT IN ADJACENT AREAS. THE DEPARTMENT OF ENVIRONMENT AND WATER SUPPLY MUST BE ADVISED OF THE LOCATION OF ALL SOLAR HOT WATER SYSTEMS. SUCH SYSTEMS MUST BE INTEGRATED WITH THE DESIGN OF THE ROOF AND WHERE VISIBLE FROM THE ADJACENT FRONT STREET OR PUBLIC OPEN SPACE AREAS BE A SPLIT SYSTEM WITH THE TANK INSTALLED AT GROUND LEVEL OR OUT OF PUBLIC VIEW.

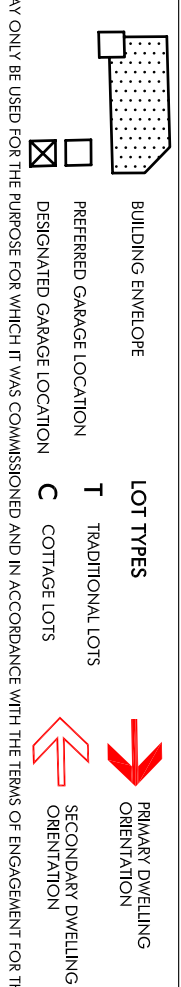
- NOTIFICATION TO PROSPECTIVE PURCHASERS**
20. THE DEVELOPER IS REQUIRED TO GIVE PROSPECTIVE PURCHASERS A COMPLETE COPY OF ALL OF THE REQUIREMENTS OF THIS DETAILED AREA PLAN PRIOR TO OFFER AND ACCEPTANCE BEING MADE.

- ADVICE NOTE**
1. PLANNING APPROVAL IS NOT REQUIRED FOR THE CONSTRUCTION OF A DWELLING ON ANY LOT WITHIN THE AREA COVERED BY THE DETAILED AREA PLAN (INCLUDING THE LOTS WITH A LAND AREA OF LESS THAN 350 SQUARE METRES) EXCEPT WHERE VARIATIONS TO THE PROVISIONS OF THE DETAILED AREA PLAN ARE SOUGHT.

THIS PLAN HAS BEEN APPROVED BY THE SHIRE ON THE ..... OF THE ..... IN ACCORDANCE WITH CLAUSE 5.18.5.1(c)(i) OF THE SHIRE OF SERPENTINE / JARRAHDALE TOWN PLANNING SCHEME No.2



**DETAILED AREA PLAN No.8**  
BYFORD CENTRAL  
SHIRE OF SERPENTINE - JARRAHDALE  
PREPARED FOR BYFORD CENTRAL PTY LTD



0 25m  
SCALE 1:750

**GRAY & LEWIS**  
LAND USE PLANNERS

Suite 5, 2 Hardy Street  
South Perth, WA 6151  
T (08) 9474 1722  
F (08) 9474 1172  
perth@graylewis.com.au

AMENDMENTS TABLE

VERSION	AMENDMENT	AUTHORISED BY	DATE
2	Add Survey Sheets.	Mark P. MARIOTTI	5/8/2009



TYPE	FREEHOLD	
PURPOSE	SUBDIVISION	
PLAN OF	LOTS 867-886, 888-894, 8007, 9514, ROAD, ROAD WIDENING, EASEMENTS AND RESTRICTIVE COVENANT	
DISTRICT	SERPENTINE A. A. (COCKBURN SOUND)	S. S. A.
TOWNSITE		YES
D.P.I. FILE No.		FORMER TENURE
LOCALITY	BYFORD	LOT 9513 ON DP 63052 C/T
LOCAL AUTHORITY	SHIRE OF SERPENTINE - JARRAHDALE	
FIELD BOOK	95701	ON INDEX SEE SMARTPLAN

**SURVEYOR'S CERTIFICATE - Reg 54**  
 I, Stuart L. TORODE, hereby certify that this plan is accurate and is a correct representation of the - (a) "survey, and/or (b) "calculations from measurements, ("delete if inapplicable), undertaken for the purposes of this plan and that it complies with the relevant written laws) in relation to which it is lodged.

**FINAL**

Licensed Surveyor \_\_\_\_\_ Date \_\_\_\_\_

**McMULLEN NOLAN**  
 PO Box 117, South Perth WA 6951  
 Telephone: (08) 6436 1599  
 Facsimile: (08) 6436 1500  
 Email: info@mapsurvey.com.au

SCALE: 1 : 1500 at A2  
 ALL DISTANCES ARE IN METRES

MAPS Ref : 93486dp-135g  
 Stage 6A ph3 - DP63054.CSD

LODGED	TYPE OF VALIDATION
DATE	FULL AUDIT . . . . . CERTIFIED CORRECT
FEE PAID	LEGAL COMPONENT . . . . . I.S.C.
ASSESS No.	DOCKET PLAN . . . . . F.S.C.

APPROVED BY  
 WESTERN AUSTRALIAN PLANNING COMMISSION FILE 131901

Delegated under Sec 16 P & D Act 2005 DATE \_\_\_\_\_

SUBJECT TO IN ORDER FOR DEALINGS

For INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER DATE \_\_\_\_\_

APPROVED REG26A (4)

INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER DATE \_\_\_\_\_

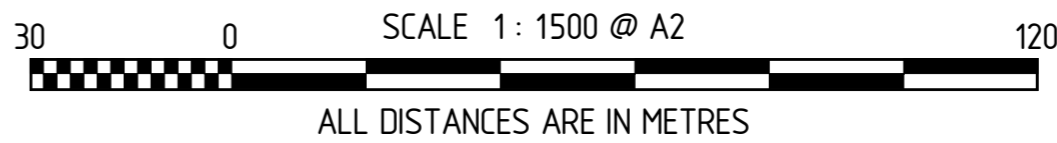


DEPOSITED PLAN  
**63054**

SHEET 1 OF 4 SHEETS  
 VERSION 2

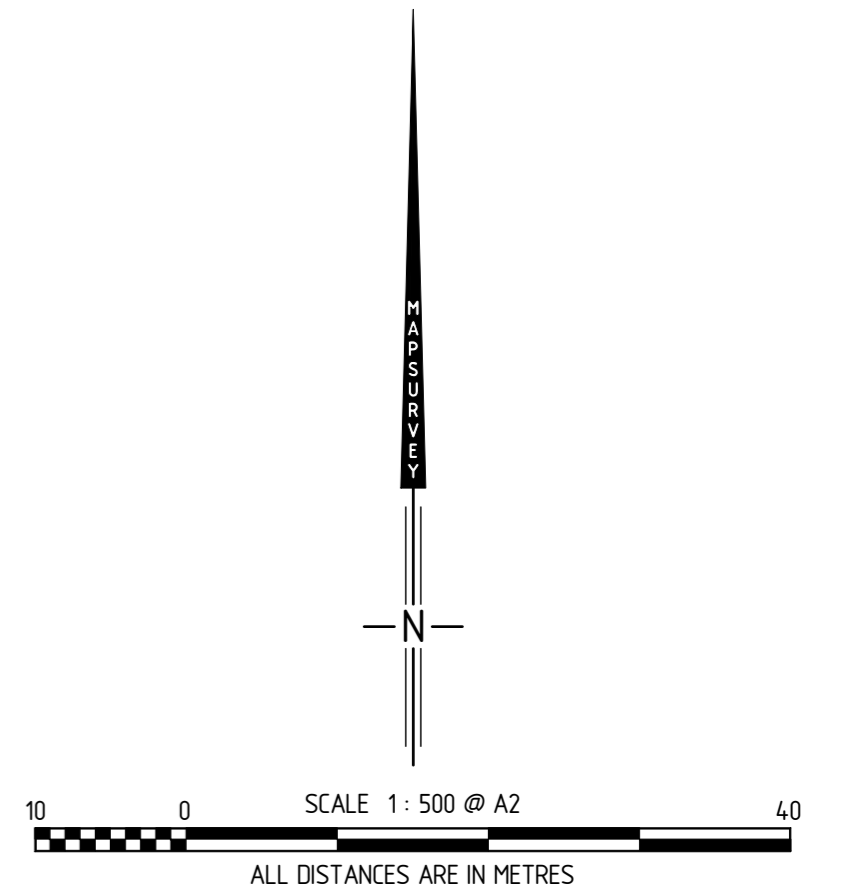
INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
5	EASEMENT (Drainage)	SEC 167, REG 5, P. & D. ACT	THIS PLAN	LOTS 888-894 & 9514	SHIRE OF SERPENTINE - JARRAHDALE	
	RESTRICTIVE COVENANT	SEC 136D OF THE T.L.A.	THIS PLAN DOC	ALL LOTS EXCEPT 8007 & 9514	ALL LOTS EXCEPT 8007 & 9514	
LOT 8007	RESERVE FOR RECREATION	VESTS IN THE CROWN UNDER SEC 152 OF THE P. & D. ACT	THIS PLAN			
	MEMORIAL	SEC 67B OF THE WATER AGENCIES POWER ACT	THIS PLAN	ALL LOTS EXCEPT 8007 & 9514	WATER CORPORATION	





SURVEY CARRIED OUT UNDER REG 26A  
 SPECIAL SURVEY AREA GUIDELINES  
 SEE SHEETS 3-4 FOR SURVEY INFORMATION

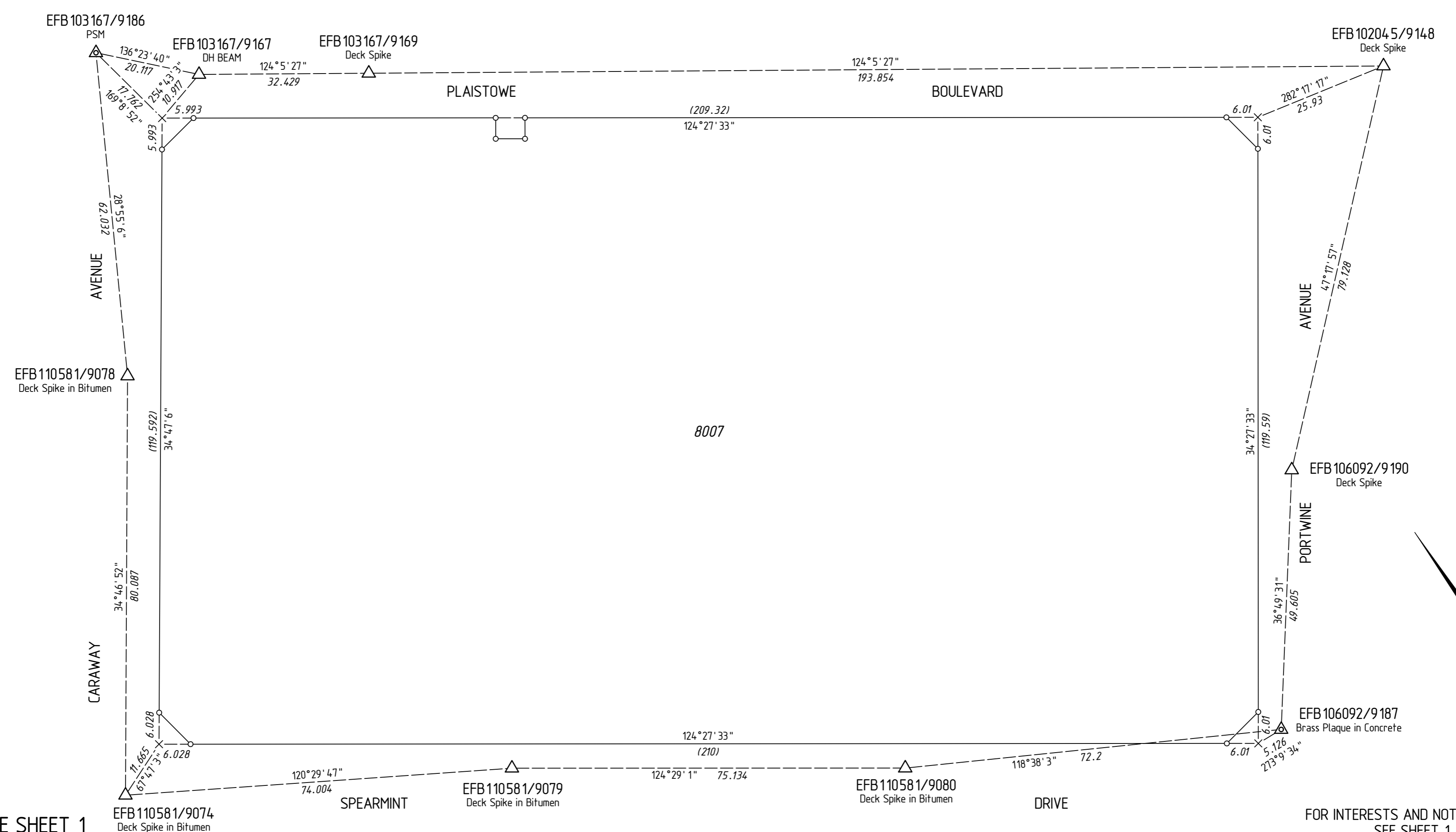
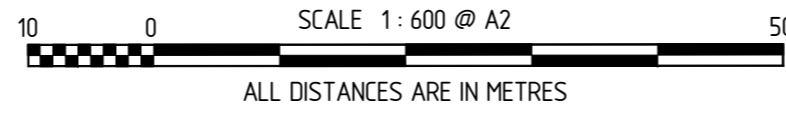
ALL BOUNDARY / CORNER SURVEY MARKS SHOWN ON THIS SHEET ARE INDICATIVE ONLY. USE ONLY THE SURVEY SHEET/S WHEN DETERMINING THE TRUE FINAL POSITION AND TYPE OF ALL SURVEY MARKS PLACED PERTAINING TO THIS PLAN.



SURVEY CARRIED OUT UNDER REG 26A  
 SPECIAL SURVEY AREA GUIDELINES  
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 THE TRUE FINAL POSITION AND TYPE OF ALL SURVEY  
 MARKS PLACED PERTAINING TO THIS PLAN.  
**FOR HEADING SEE SHEET 1**  
**FOR INTERESTS AND NOTIFICATIONS**  
**SEE SHEET 1**

SCALE: 1 : 500 at A2 ALL DISTANCES ARE IN METRES	<b>McMULLEN NOLAN</b> <small>www.mcmullen-nolan.com.au</small>	MAPS Ref 93486dp-135g Stage 6A ph3 DP63054.CSD
<b>FINAL</b> Licensed Surveyor _____ Date _____ APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION FILE 131901	  Western Australian Land Information Authority	
SHEET 2 OF 4 SHEETS VERSION 2	DEPOSITED PLAN <b>63054</b>	





FOR HEADING SEE SHEET 1  
 SURVEY INFORMATION ONLY  
 SURVEY SHEET

SURVEY CARRIED OUT UNDER REG 26A  
 SPECIAL SURVEY AREA GUIDELINES

ALL BEARINGS AND DISTANCES ON THIS SHEET  
 ARE THE RESULT OF LEAST SQUARES ADJUSTMENTS  
 CARRIED OUT ON FIELD OBSERVATIONS

GRID DATUM IS PCG94

- LEGEND**
- Denotes Peg unless stated otherwise
  - ▲ Denotes Nail
  - Denotes Nail and Plate
  - × Denotes Spike
  - Denotes Drill Hole
  - ⊗ Denotes Deck Spike
  - ⊠ Denotes Deck Spike and Plate
  - ▲ Denotes Standard Survey Mark (SSM)
  - △ Denotes Permanent Survey Mark (PSM)
  - △ Denotes Permanent Control Mark (PCM)
  - ⊠ Denotes Temporary Control Mark (TCM)

**SURVEYOR'S CERTIFICATE**  
 Reg 54

David W. BUSSELL

hereby certify that this plan is accurate and is a correct representation of the -  
 (a) \*survey, and/or  
 (b) \*calculations from measurements,  
 [\*delete if inapplicable]

undertaken for the purposes of this plan and that it complies with the relevant written laws in relation to which it is lodged.

**FINAL**

Licensed Surveyor Date

SCALE: 1: 600  
 at A2  
 ALL DISTANCES ARE IN METRES

**McMULLENNOLAN** MAPS Ref 93486dp-135g Stage 6A Ph3  
 www.mcmulennolan.com.au

Licensed Surveyor Date

APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION

FILE 131901

Delegated under Sec 16 P & D Act 2005 DATE



DEPOSITED PLAN  
**63054**

SHEET 4 OF 4 SHEETS  
 VERSION 2

FOR INTERESTS AND NOTIFICATIONS  
 SEE SHEET 1

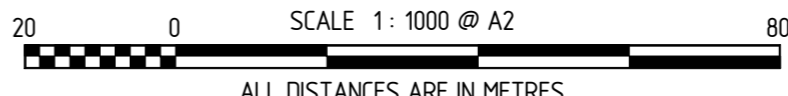
AMENDMENTS TABLE

VERSION	AMENDMENT	AUTHORISED BY	DATE
2	Add Survey Sheet.	Stuart L. TORODE	4/8/2009



INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
5	EASEMENT (Drainage)	SEC 167, REG 5, P. & D. ACT	THIS PLAN	LOTS 750-752, 769-770, 826-832, 837-845, 863-865	SHIRE OF SERPENTINE - JARRAHDALE	
R767	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 767	LOT 768	
R769	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 769	LOT 770	
R835	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 835	LOT 854	
R855	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 855	LOT 856	
R857	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 857	LOT 858	
R859	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 859	LOT 860	
	RESTRICTIVE COVENANT	SEC 136D OF THE T.L.A	DOC	ALL LOTS	ALL LOTS	
	MEMORIAL	SEC 67B OF THE WATER AGENCIES POWER ACT	THIS PLAN	ALL LOTS	WATER CORPORATION	

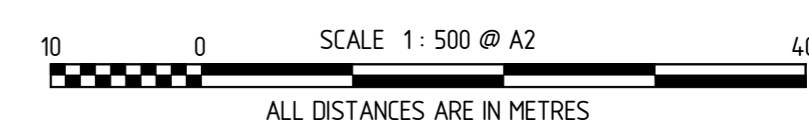
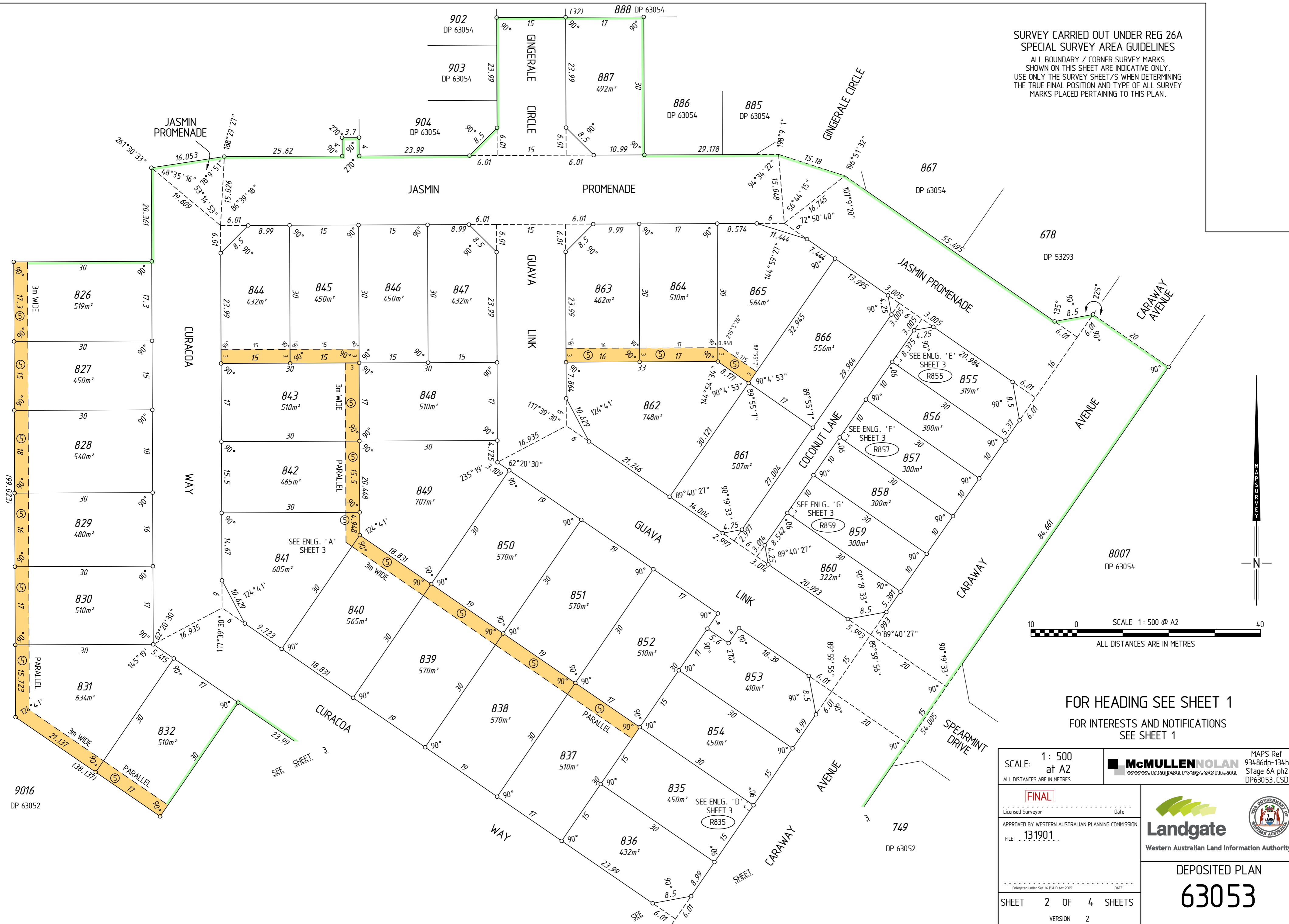


SURVEY CARRIED OUT UNDER REG 26A SPECIAL SURVEY AREA GUIDELINES  
 SEE SHEETS 4 FOR SURVEY INFORMATION  
 ALL BOUNDARY / CORNER SURVEY MARKS SHOWN ON THIS SHEET ARE INDICATIVE ONLY. USE ONLY THE SURVEY SHEET/S WHEN DETERMINING THE TRUE FINAL POSITION AND TYPE OF ALL SURVEY MARKS PLACED PERTAINING TO THIS PLAN.

TYPE	FREEHOLD	
PURPOSE	SUBDIVISION	
PLAN OF	LOTS 750-752, 767-770, 826-832, 835-866, 887, ROADS, EASEMENTS AND RESTRICTIVE COVENANT	
DISTRICT	SERPENTINE A. A. (COCKBURN SOUND)	S. S. A. YES
TOWNSITE		
D.P.I. FILE No.		FORMER TENURE
LOCALITY	BYFORD	LOT 9512 ON DP 63052 C/T
LOCAL AUTHORITY	SHIRE OF SERPENTINE - JARRAHDALE	
FIELD BOOK	95701	ON INDEX SEE SMARTPLAN
SURVEYOR'S CERTIFICATE - Reg 54		
I, Stuart L. TORODE, hereby certify that this plan is accurate and is a correct representation of the - (a) survey, and/or (b) calculations from measurements, (delete if inapplicable), undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.		
<b>FINAL</b>		
Licensed Surveyor		Date
PO Box 117, South Perth WA 6951 Telephone: (08) 6436 1599 Facsimile: (08) 6436 1500 Email: info@mapsurvey.com.au		
SCALE: 1:1000 at A2	MAPS Ref: 93486dp-134h	
ALL DISTANCES ARE IN METRES	Stage 6A Ph2 - DP63053.CSD	
LODGED	TYPE OF VALIDATION	
DATE	FULL AUDIT	CERTIFIED CORRECT
FEE PAID	LEGAL COMPONENT	I.S.C.
ASSESS No.	DOCKET PLAN	F.S.C.
APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION FILE 131901		
Delegated under Sec 16 P & D Act 2005 DATE		
SUBJECT TO IN ORDER FOR DEALINGS		
For INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER DATE		
APPROVED		REG26A (4)
INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER DATE		
Western Australian Land Information Authority		
DEPOSITED PLAN 63053		
SHEET 1 OF 4 SHEETS		
VERSION 2		

**SURVEY CARRIED OUT UNDER REG 26A  
SPECIAL SURVEY AREA GUIDELINES**

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MARKS PLACED PERTAINING TO THIS PLAN.



FOR HEADING SEE SHEET 1  
FOR INTERESTS AND NOTIFICATIONS  
SEE SHEET 1

SCALE: 1: 500  
at A2  
ALL DISTANCES ARE IN METRES

**McMULLEN NOLAN**  
www.mcmullenolan.com.au  
MAPS Ref  
93486dp-134h  
Stage 6A ph2  
DP63053.CSD

**FINAL**  
Licensed Surveyor \_\_\_\_\_ Date \_\_\_\_\_  
APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION  
FILE 131901  
Delegated under Sec 50 P & O Act 2005 DATE \_\_\_\_\_  
SHEET 2 OF 4 SHEETS  
VERSION 2

**Landgate**  
Western Australian Land Information Authority

DEPOSITED PLAN  
**63053**



**LEGEND**

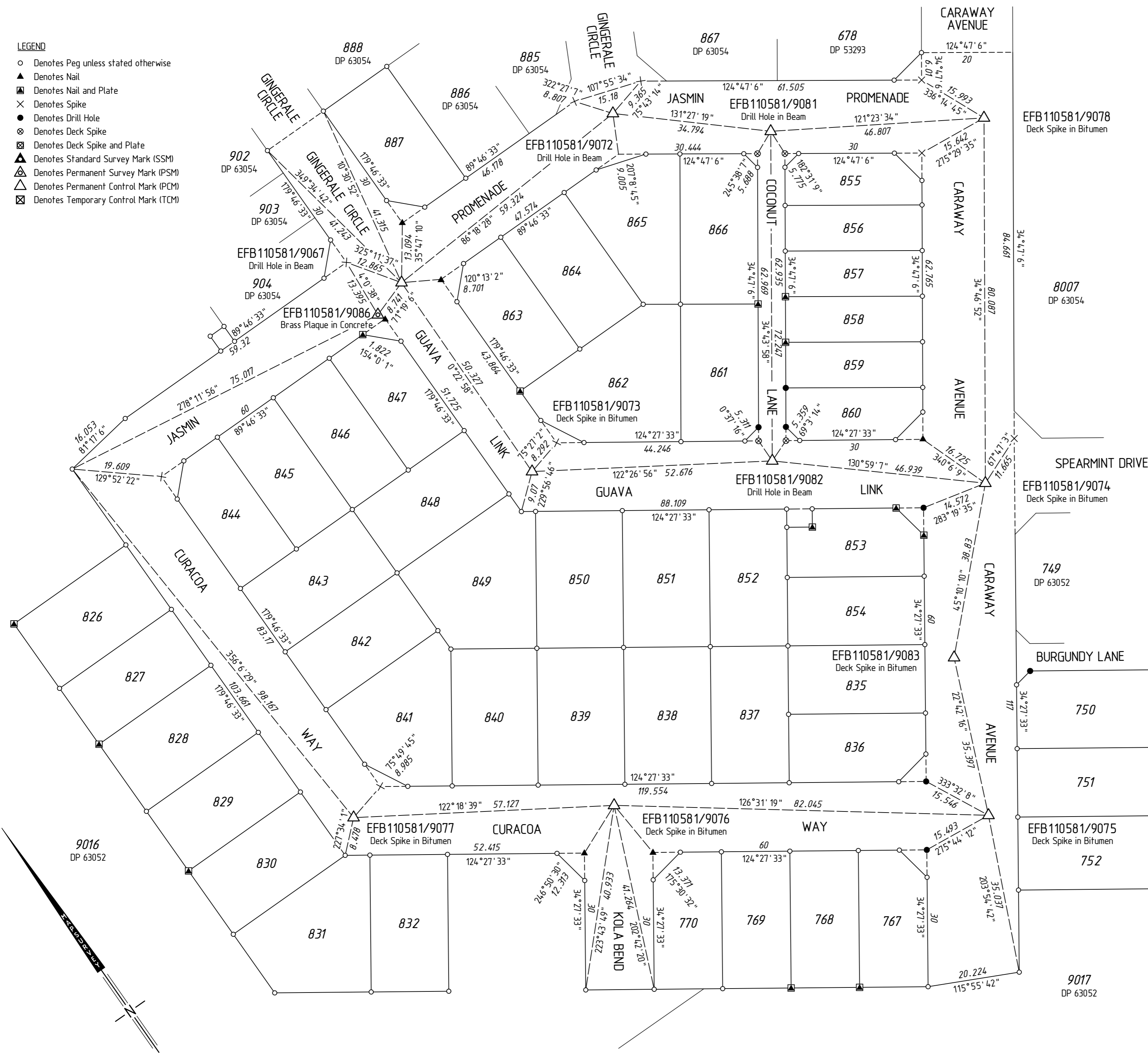
- Denotes Peg unless stated otherwise
- ▲ Denotes Nail
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**FOR HEADING SEE SHEET 1  
SURVEY INFORMATION ONLY  
SURVEY SHEET**

SURVEY CARRIED OUT UNDER REG 26A  
SPECIAL SURVEY AREA GUIDELINES

ALL BEARINGS AND DISTANCES ON THIS SHEET  
ARE THE RESULT OF LEAST SQUARES ADJUSTMENTS  
CARRIED OUT ON FIELD OBSERVATIONS

GRID DATUM IS PCG94

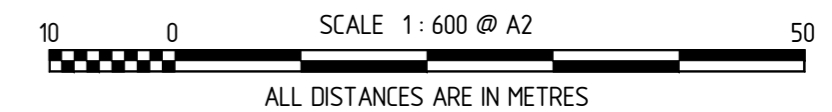


**SURVEYOR'S CERTIFICATE**  
Reg 54

I, David W. BUSSELL,  
hereby certify that this plan is accurate and is a correct  
representation of the -  
(a) \*survey, and/or  
(b) \*calculations from measurements,  
[\*delete if inapplicable]  
undertaken for the purposes of this plan and that it  
complies with the relevant written law(s) in relation  
to which it is lodged.

**FINAL**

Licensed Surveyor \_\_\_\_\_ Date \_\_\_\_\_



FOR INTERESTS AND NOTIFICATIONS  
SEE SHEET 1

SCALE: 1: 600  
at A2  
ALL DISTANCES ARE IN METRES

**McMULLENOLAN**  
www.mcmullenolan.com.au  
MAPS Ref 93486dp-134h  
Stage 6A Ph2

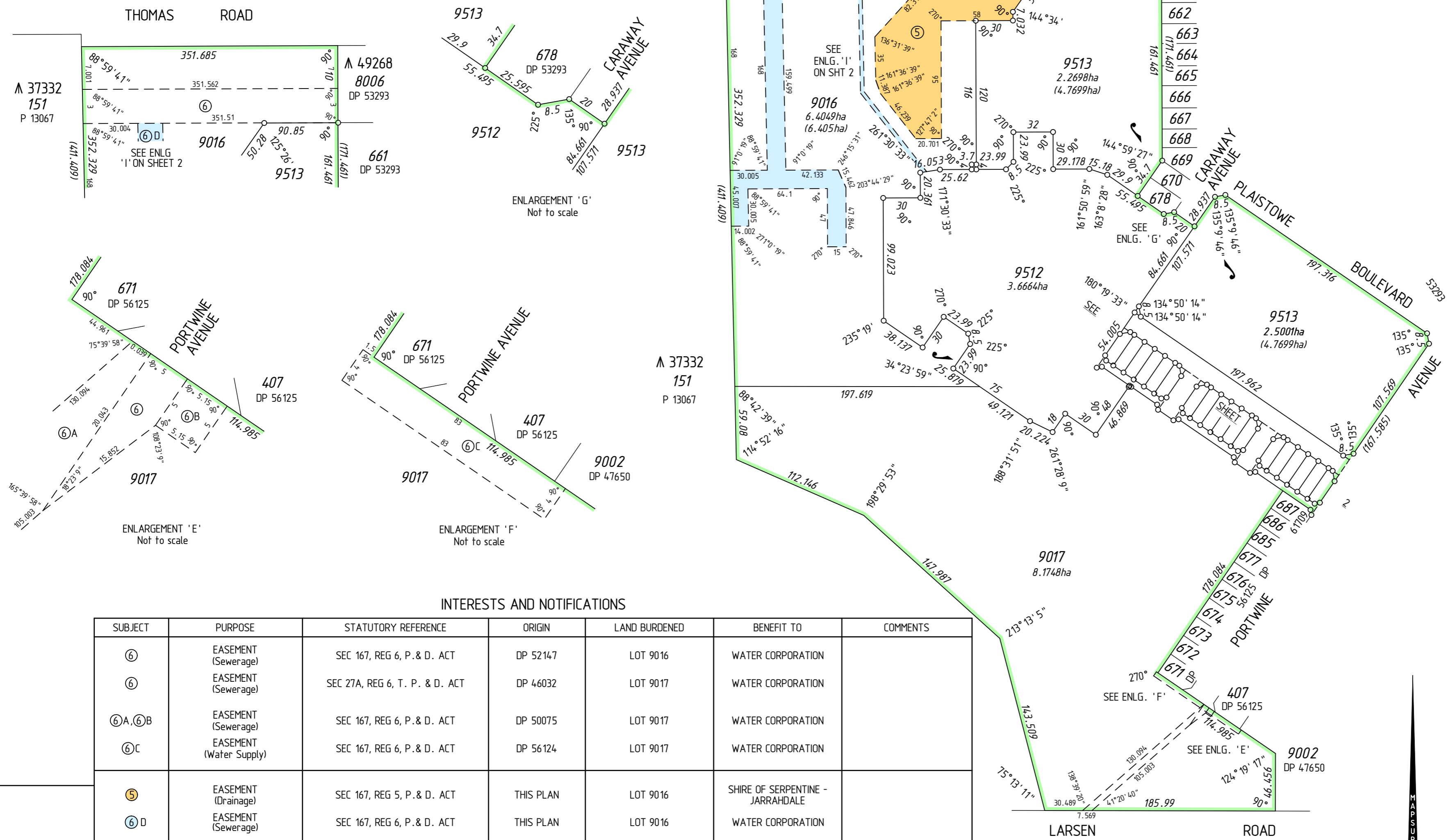
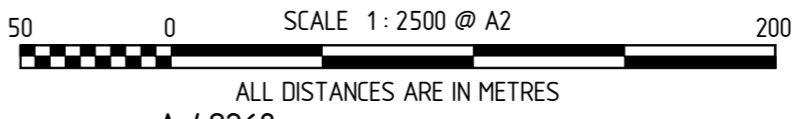
Licensed Surveyor \_\_\_\_\_ Date \_\_\_\_\_  
APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION  
FILE 131901  
Delegated under Sec 90 P & O Act 2005 DATE \_\_\_\_\_  
SHEET 4 OF 4 SHEETS  
VERSION 2



DEPOSITED PLAN  
**63053**

AMENDMENTS TABLE

VERSION	AMENDMENT	AUTHORISED BY	DATE
2	Audit requirements and amend easement ⑥D	S. TORODE	1/4/2009
3	Add survey sheet.	S. TORODE	12/5/2009



INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
⑥	EASEMENT (Sewerage)	SEC 167, REG 6, P. & D. ACT	DP 52147	LOT 9016	WATER CORPORATION	
⑥	EASEMENT (Sewerage)	SEC 27A, REG 6, T. P. & D. ACT	DP 46032	LOT 9017	WATER CORPORATION	
⑥A, ⑥B	EASEMENT (Sewerage)	SEC 167, REG 6, P. & D. ACT	DP 50075	LOT 9017	WATER CORPORATION	
⑥C	EASEMENT (Water Supply)	SEC 167, REG 6, P. & D. ACT	DP 56124	LOT 9017	WATER CORPORATION	
⑤	EASEMENT (Drainage)	SEC 167, REG 5, P. & D. ACT	THIS PLAN	LOT 9016	SHIRE OF SERPENTINE - JARRAHDALE	
⑥ D	EASEMENT (Sewerage)	SEC 167, REG 6, P. & D. ACT	THIS PLAN	LOT 9016	WATER CORPORATION	
R688	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 688	LOT 689	
R690	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 690	LOT 691	
R693	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 693	LOT 692	
R716	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 716	LOT 717	
R718	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 718	LOT 719	
R721	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 721	LOT 720	
R744	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 744	LOT 745	
R746	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 746	LOT 747	
R749	EASEMENT (Drainage)	SEC 136C T.L.A.	THIS PLAN	LOT 749	LOT 748	
	RESTRICTIVE COVENANT	SEC 136D OF THE T.L.A	THIS PLAN & DOC	ALL LOTS EXCEPT, 9016, 9017, 9512, 9513	ALL LOTS EXCEPT, 9016, 9017, 9512, 9513	

SURVEY CARRIED OUT UNDER REG 26A SPECIAL SURVEY AREA GUIDELINES  
SEE SHEETS ..... FOR SURVEY INFORMATION

ALL BOUNDARY / CORNER SURVEY MARKS SHOWN ON THIS SHEET ARE INDICATIVE ONLY. USE ONLY THE SURVEY SHEET/S WHEN DETERMINING THE TRUE FINAL POSITION AND TYPE OF ALL SURVEY MARKS PLACED PERTAINING TO THIS PLAN.

FORMER TENURE TABLE

LOT	FORMER TENURE	ON PLAN / DIAGRAM	TITLE
746-749, 9016	PT LOT 9012	DP 56124	2696-683
688-693, 716-720, 9017	PT LOT 9015	DP 61709	
721, 744, 745, 9512, 9513	PT LOT 9012 PT LOT 9015	DP 56124 DP 61709	2696-683

TYPE FREEHOLD	
PURPOSE SUBDIVISION	
PLAN OF  LOTS 688-693, 716-721, 744-749, 9016, 9017, 9512, 9513, ROADS, EASEMENTS AND RESTRICTIVE COVENANT	
DISTRICT TOWNSITE	SERPENTINE A. A. (COCKBURN SOUND)
D.P.I. FILE No.	S.S.A. YES
LOCALITY	BYFORD
LOCAL AUTHORITY	SHIRE OF SERPENTINE - JARRAHDALE
FIELD BOOK	ON INDEX SEE SMARTPLAN
95701	
SURVEYOR'S CERTIFICATE - Reg 54	
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<b>FINAL</b>	
Licensed Surveyor	Date
PO Box 117, South Perth WA 6951 Telephone: (08) 6436 1599 Facsimile: (08) 6436 1500 Email: info@mapsurvey.com.au	
SCALE: 1:2500 at A2	MAPS Ref: 93486dp-133h
ALL DISTANCES ARE IN METRES	Stage 6A ph1 - DP63052.CSD
LODGED	TYPE OF VALIDATION
DATE	FULL AUDIT CERTIFIED CORRECT
FEE PAID	LEGAL COMPONENT I.S.C.
ASSESS No.	DOCKET PLAN F.S.C.
APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION FILE 131901	
Delegated under Sec 16 P & D Act 2005 DATE	
IN ORDER FOR DEALINGS	
SUBJECT TO	
For INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER DATE	
APPROVED REG26A (4)	
INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER DATE	
Western Australian Land Information Authority	
DEPOSITED PLAN	
<b>63052</b>	
SHEET 1 OF 2 SHEETS	
VERSION 2	



**LEGEND**

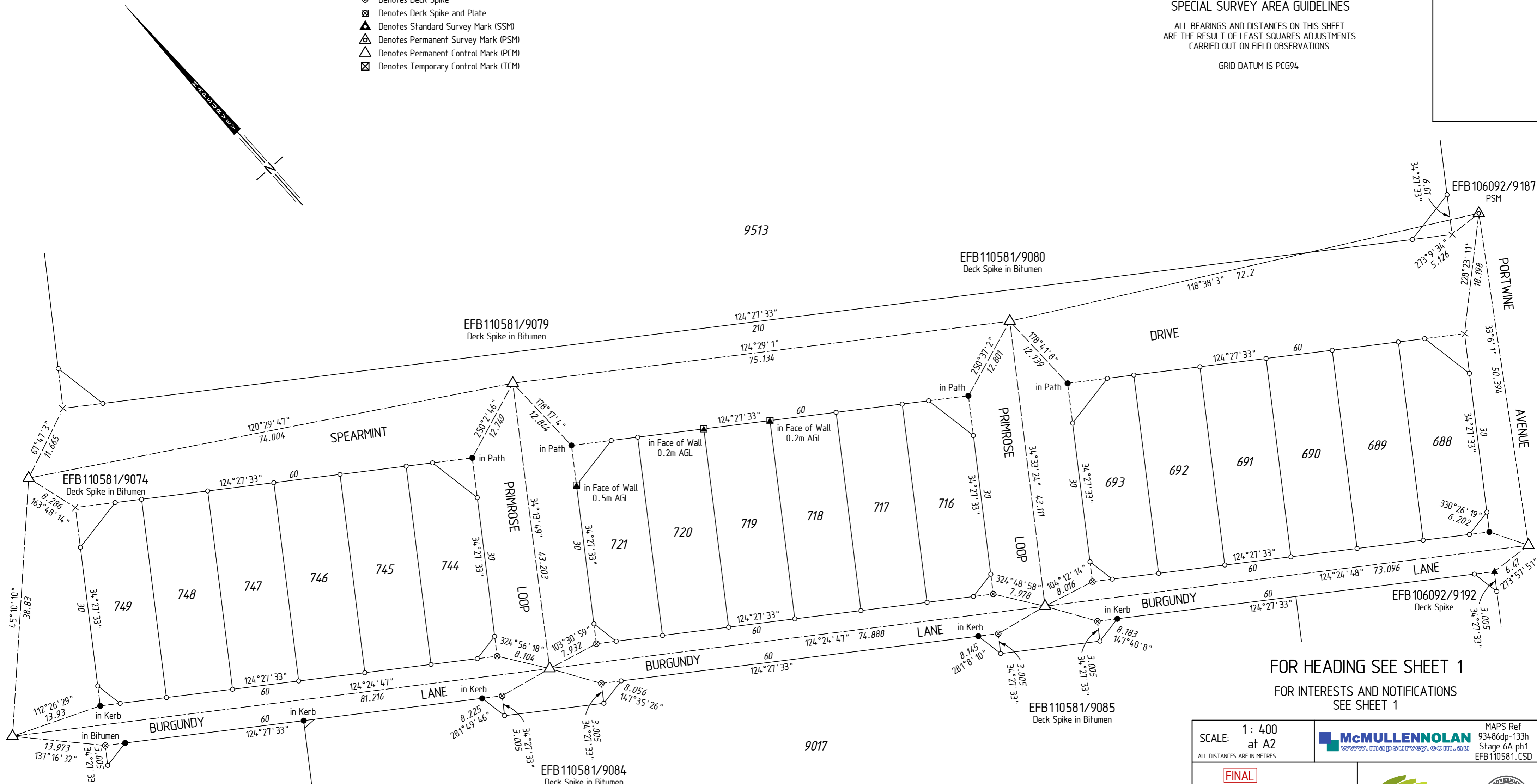
- Denotes Peg unless stated otherwise
- ▲ Denotes Nail
- Denotes Nail and Plate
- × Denotes Spike
- Denotes Drill Hole
- ⊗ Denotes Deck Spike
- ⊠ Denotes Deck Spike and Plate
- ▲ Denotes Standard Survey Mark (SSM)
- △ Denotes Permanent Survey Mark (PSM)
- △ Denotes Permanent Control Mark (PCM)
- ⊠ Denotes Temporary Control Mark (TCM)

FOR HEADING SEE SHEET 1  
**SURVEY INFORMATION ONLY**  
**SURVEY SHEET**

SURVEY CARRIED OUT UNDER REG 26A  
 SPECIAL SURVEY AREA GUIDELINES

ALL BEARINGS AND DISTANCES ON THIS SHEET  
 ARE THE RESULT OF LEAST SQUARES ADJUSTMENTS  
 CARRIED OUT ON FIELD OBSERVATIONS

GRID DATUM IS PCG94



FOR HEADING SEE SHEET 1  
 FOR INTERESTS AND NOTIFICATIONS  
 SEE SHEET 1

EFB 110581/9083  
 Deck Spike in Bitumen

9512

EFB 110581/9084  
 Deck Spike in Bitumen

9017

EFB 110581/9085  
 Deck Spike in Bitumen

EFB 106092/9192  
 Deck Spike

EFB 106092/9187  
 PSM

EFB 110581/9080  
 Deck Spike in Bitumen

EFB 110581/9079  
 Deck Spike in Bitumen

EFB 110581/9074  
 Deck Spike in Bitumen

SCALE: 1:400  
 at A2  
 ALL DISTANCES ARE IN METRES

MAPS Ref 93486dp-133h  
 Stage 6A ph1  
 EFB110581.CSD

**McMULLENOLAN**  
 www.mcmullenolan.com.au

**FINAL**

Licensed Surveyor \_\_\_\_\_ Date \_\_\_\_\_

APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION

FILE 131901

Classified under Sec 90 P & O Act 2005 DATE \_\_\_\_\_

SHEET 3 OF 3 SHEETS

VERSION 2

**Landgate**  
 Western Australian Land Information Authority

THE GOVERNMENT OF  
 WESTERN AUSTRALIA

DEPOSITED PLAN  
**63052**

