

## R CODE VARIATIONS

The provisions addressed below and on the adjacent plan relate to lots of Kingsway Ridge, Landsdale. The requirements of the Residential Design Codes apply unless otherwise provided for below. The following standard represents variations to the Residential Design Codes and constitutes Acceptable Development requirements pursuant to the Codes.

### GENERAL PROVISIONS

R-Coding	R20
Minimum Open Space	Minimum 35%

### ALL LOTS SUBJECT OF THIS DAP

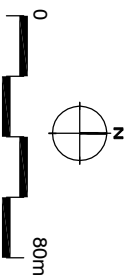
SETBACKS	MINIMUM	MAXIMUM	AVERAGE
Dwelling - Primary Street	3.0m	6.0m	Not Applicable
Porch / verandah / balcony or equivalent	2.0m*		

### SETBACKS

\* City may consider a setback of less than 2.0m having regard to relevant performance criteria of the Residential Design Codes.

### SOLAR SETBACK

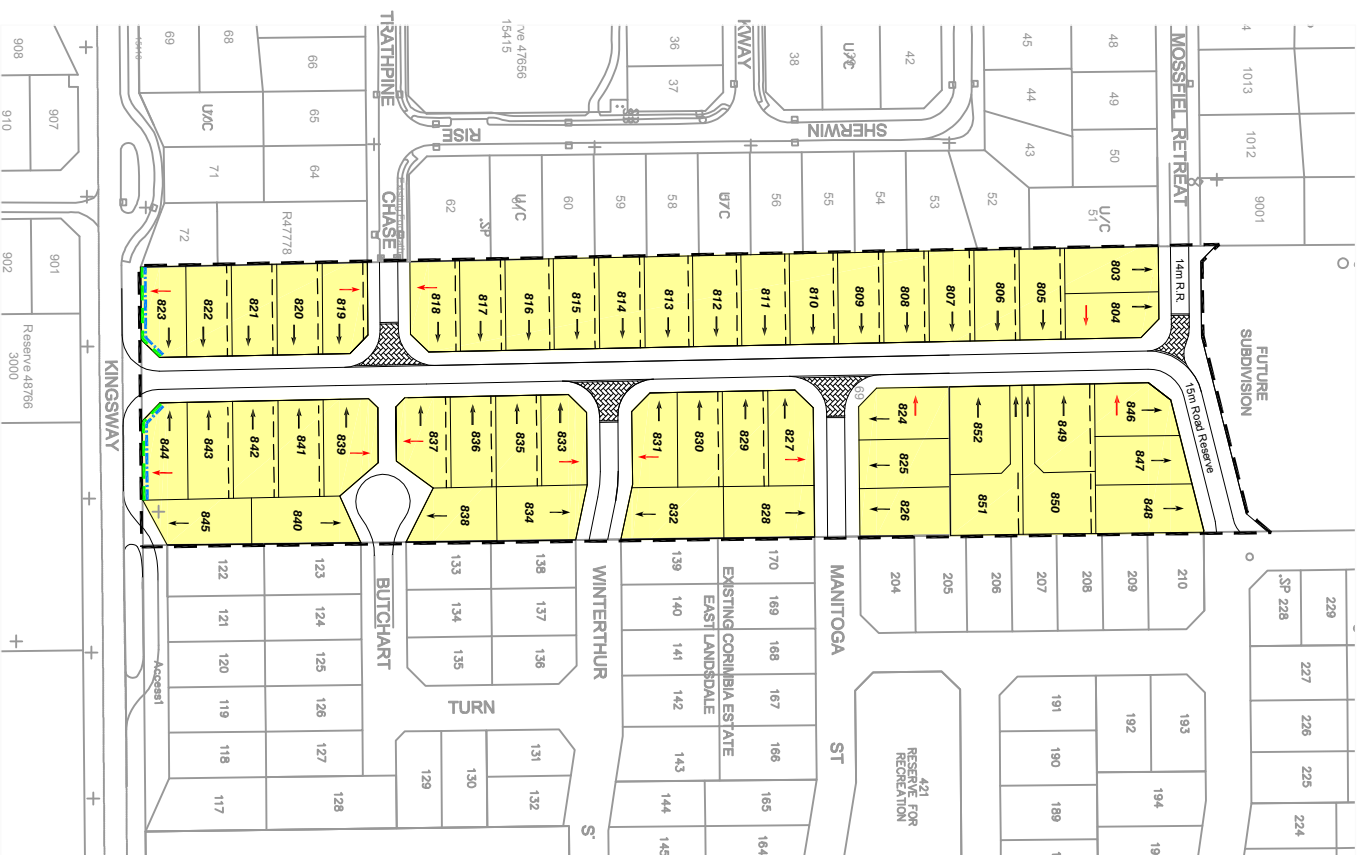
A 1.5m solar setback is to be provided to the northern boundary of lots where shown - excluding garages which may be built to zero lot line.



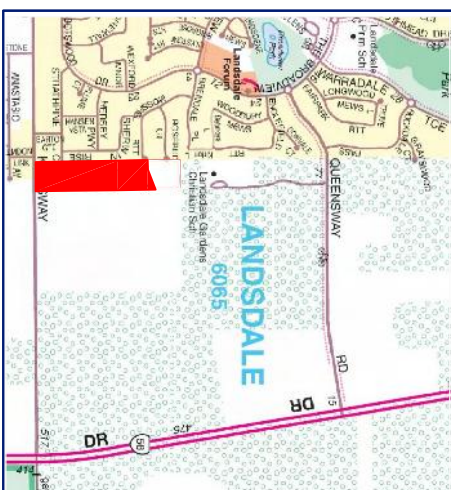
- NOTE:
1. Pavements shown diagrammatically only
  2. Lot numbers will change pending preparation of Deposited Plan.



# DETAILED AREA PLAN - No. 1 LOT 69 KINGSWAY LANDSDALE KINGSWAY RIDGE



## LOCATION PLAN



## LEGEND

- Detailed Area Plan Boundary
- Lots subject to overall DAP/R Code Variation
- Uniform Estate Fencing (Solid Style)
- No Vehicle Access Permitted
- Primary Dwelling Orientation
- Secondary Dwelling Orientation
- Solar Setback (1.5m)

NOTE: the maximum number of lots permitted within the area of this DAP is 50.

The Detailed Area Plan has been endorsed by Council under Clause 9.1.4.3(d) of District Planning Scheme No. 2

Manager, Planning Implementation  
City of Wanneroo

Date.....



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00373-2011

CHAIRMAN  
GEOGRAPHIC NAMES COMMITTEE

The City of Wanneroo, in its email at page 74, has requested the approval of one new road name and the extension to five other road names for use in the upcoming subdivision of Lot 69 (HN 441) Kingsway, Landsdale.

It is proposed to name the new road Zappeion Entrance and extend the names Butchart Turn, Manitoga Street, Mossfiel Retreat, Strathpine Chase and Winterthur Street.

The new name continues the existing theme in this location which is the names of "World's Greatest Gardens".

*Zappeion*: Named after the Zappeion Gardens in the heart of Athens Greece, surrounded by the streets Irodou Attikou, Vasileos Konstantinou, Vasilissis Olgas, and Vasilissis Amalias and the National Gardens, the gardens are comprised of: 83.000 square meters of planted area (soft surfaces), 41.000 square meters of paved surfaces and 2400 square meters of atriums and patios. The first trees were planted in 1857.

The proposed name has been checked for duplication, no problems were found. The road name extensions are considered appropriate

Accordingly, your approval is requested for the following:

New Road Name - Landsdale

Apply the name **ZAPPEION ENTRANCE** to the proposed road, as depicted on the plan at page 76.

Extend Road Names - Landsdale

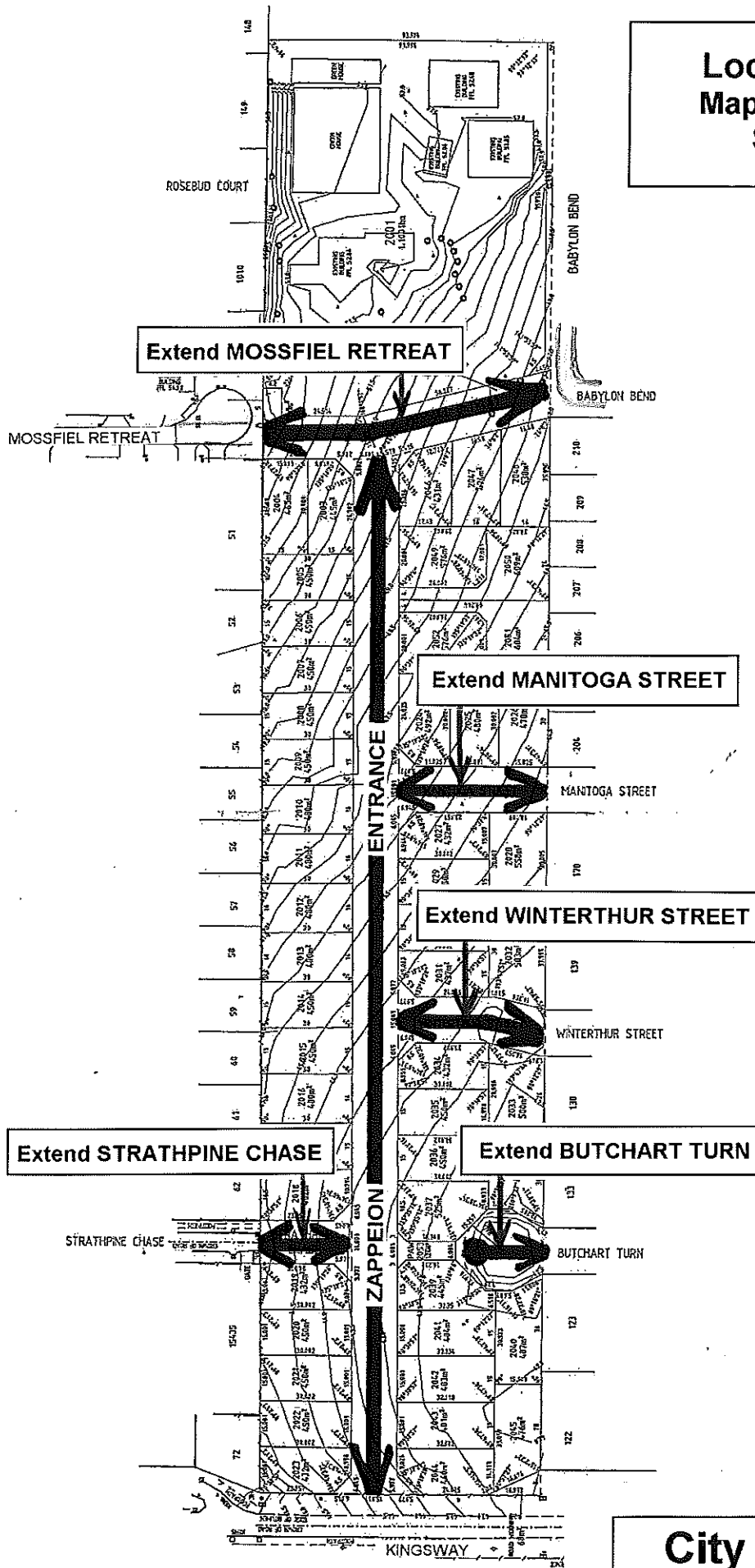
Extend the names **BUTCHART TURN, MANITOGA STREET, MOSSFIEL RETREAT, STRATHPINE CHASE and WINTERTHUR STREET** to the proposed roads, as depicted on the plan at page 76.

*Jan. E. Landsdale*  
for  
Secretary  
GEOGRAPHIC NAMES COMMITTEE  
JEL 08/11/2011 Job No 782

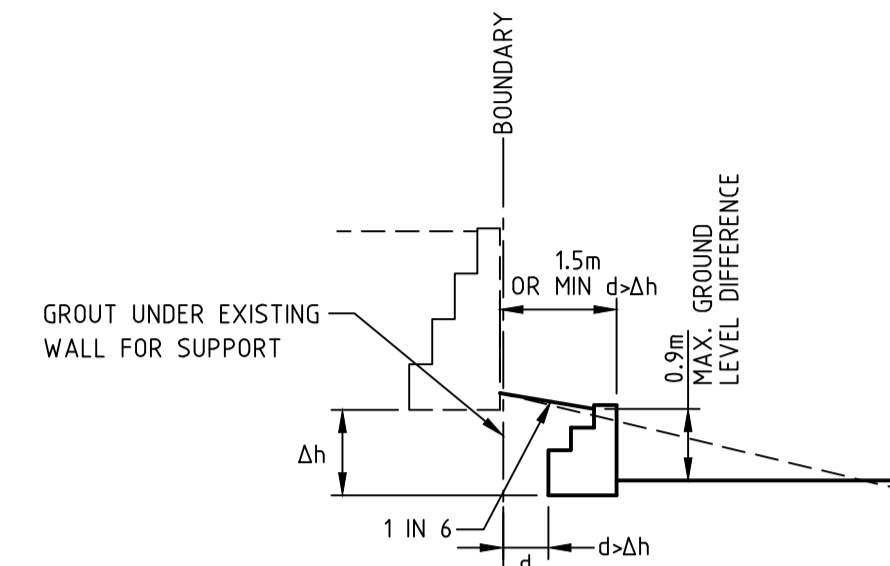
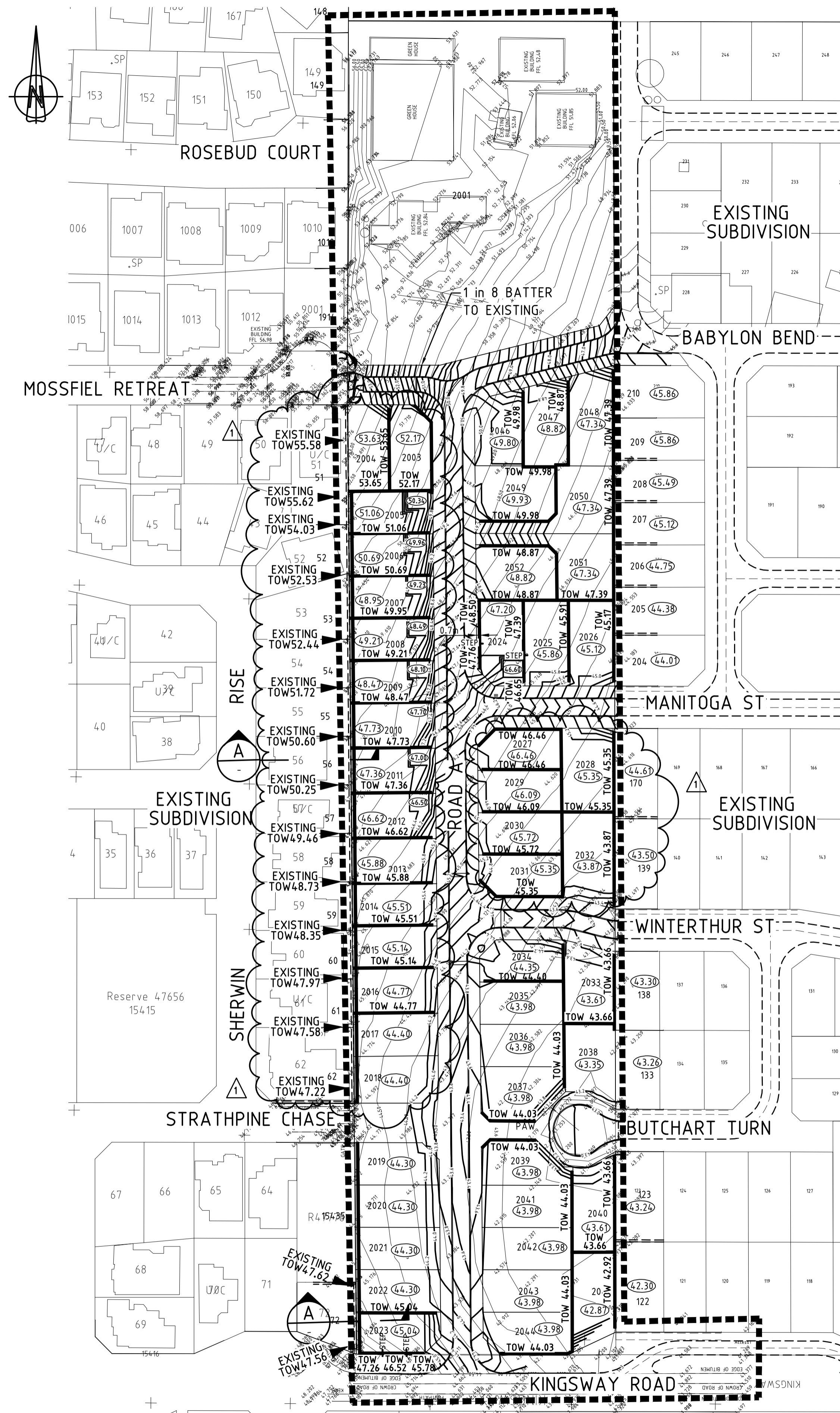
**APPROVED**  
By Order of  
The Minister for Lands

*OKB/Mar*  
- 9 NOV 2011

Locality:- Landsdale  
Map Ref: - BG 34 / 13.40  
SSD Map 283 A 1

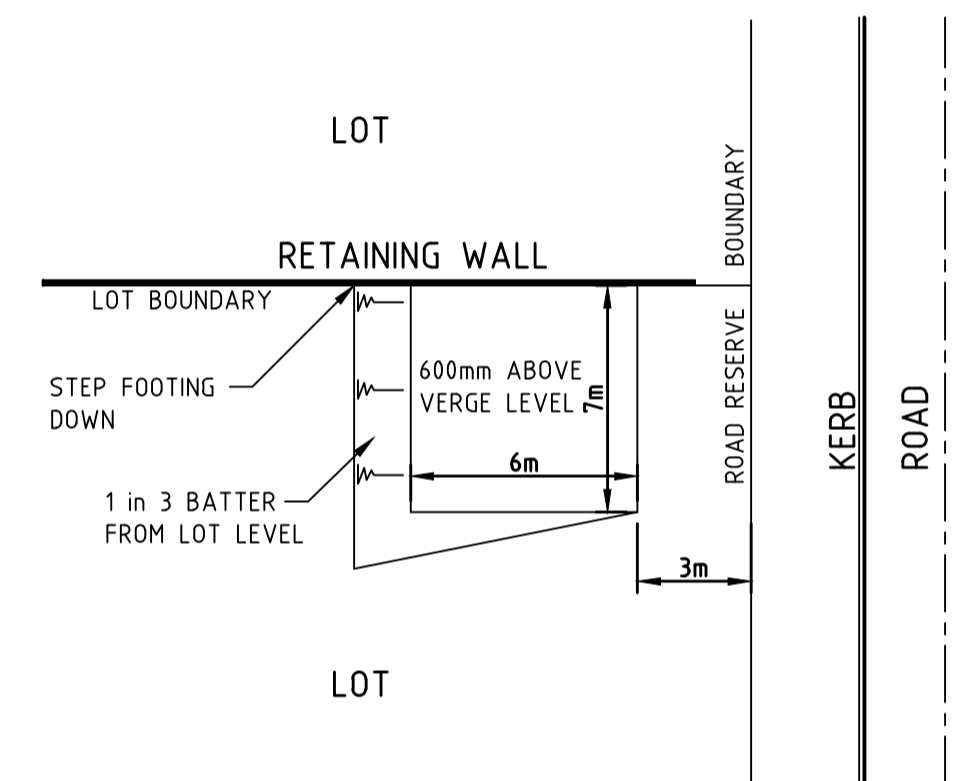


City of Wanneroo  
New Road Name  
& Extensions



TYPICAL SECTION THROUGH WESTERN BOUNDARY

SECTION A  
SCALE NTS



TYPICAL GARAGE BAY ARRANGEMENT  
NTS

ALL BASE CONTOURS, LEVELS AND FEATURES HAVE BEEN PROVIDED BY BROOK AND MARSH PTY LTD ON 28/01/11

NOTES

- THE CONTRACTOR SHALL LIAISE WITH ALL RELEVANT AUTHORITIES TO LOCATE ANY EXISTING SERVICES WITHIN THE CONTRACT AREA PRIOR TO THE COMMENCEMENT OF WORK. ANY COMPACTION WITHIN THE VICINITY OF THESE SERVICES TO BE CARRIED OUT TO SERVICE AUTHORITIES REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN ALL LEVELS FROM ESTABLISHED BENCHMARKS AS PROVIDED BY THE PROJECT SURVEYOR. ALL BENCHMARKS ARE TO BE PROTECTED.
- THE CONTRACTOR SHALL BE BOUND TO THE "GUIDELINES FOR ASSESSMENT AND CONTROL OF DUST AND WINDBORNE MATERIAL FOR LAND DEVELOPED SITES" INCLUDING APPENDICES 1 & 2) PUBLISHED BY THE D.E.P. - NOVEMBER 1996.
- AREAS OF FILL TO BE COMPACTED IN LAYERS IN ACCORDANCE WITH THE SPECIFICATION. CONTRACTOR TO SUBMIT COMPACTION TEST RESULTS FOR ALL LOTS.
- ALL EARTHWORKS TO BE RESTRICTED TO THE LIMIT OF CONTRACT BOUNDARY. NO MACHINERY MOVEMENTS TO OCCUR OUTSIDE LIMIT OF CONTRACT BOUNDARY.
- THE CONTRACTOR SHALL TAKE CARE WITH THE USE OF COMPACTION EQUIPMENT WITHIN THE VICINITY OF THE EXISTING RESIDENCES SO AS TO AVOID VIBRATION DAMAGE TO BUILDINGS. COST OF REPAIRS FOR ANY DAMAGE INCURRED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MITIGATE VIBRATION EXTENDING PAST THE SITE BOUNDARY. A DILAPIDATION REPORT IS SUGGESTED TO BE UNDERTAKEN ON THE SURROUNDING LOTS.
- SOME EXISTING TREES WITHIN FINISHED SURFACE AREA WILL BE FLAGGED AND ARE NOT TO BE DISTURBED. CLEARING IS NOT TO COMMENCE UNTIL THE TREES ARE IDENTIFIED BY THE SUPERINTENDENT. TREES FLAGGED ARE TO BE PROTECTED FROM MACHINERY AND CONSTRUCTION ACTIVITIES. (MIN. SEPARATION 3m FROM HAUL ROUTE TO BASE OF TREE)
- CONTRACTOR TO STRIP THE TOP 150mm MINIMUM OF TOPSOIL AND REMOVE OFFSITE.
- FINISHED FLOOR LEVELS SHOWN ARE TOP OF CONCRETE SLAB. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS TO DETERMINE SLAB THICKNESS AND PROPOSED EARTHWORKED LEVEL.
- CONTRACTOR TO REMOVE FROM SITE ALL RUBBISH (ie. CAR BODIES, DRUMS, ETC) WITHIN THE EARTHWORKS BOUNDARY TO AN APPROVED LOCAL AUTHORITY DISPOSAL SITE. ALL FEES TO BE PAID BY THE CONTRACTOR.
- AT EDGE OF EARTHWORKS BOUNDARY, CONTRACTOR TO BATTER AT 1 IN 6 TO NATURAL SURFACE, UNLESS OTHERWISE NOTED. THE BUILDER IS TO ARRANGE THE NECESSARY RETAINING AND ANY FENCING AND FENCE REINSTATEMENT.
- NOTE THAT NON-TRAFFICABLE SUBTERRANEAN STRUCTURES MAY BE PRESENT ON THE SITE. THESE INCLUDE, BUT ARE NOT LIMITED TO, SEPTIC TANKS, SOAKWELLS, DISUSED PIPEWORK, CELLARS, BASEMENTS, OLD SWIMMING POOLS AND VOIDS. THE CONTRACTOR SHALL LOCATE THESE SUBTERRANEAN STRUCTURES PRIOR TO EARTHWORKS AND CLEARING. THE CONTRACTOR SHALL EMPLOY WORK METHODS THAT REMOVE THE RISK THESE SUBTERRANEAN STRUCTURES MAY PRESENT. THE CONTRACTOR SHALL ALERT ALL PLANT OPERATORS AND SITE STAFF AND SUBCONTRACTORS OF THE RISKS OF THE SUBTERRANEAN STRUCTURES EXISTENCE AND RISKS OF THE SUBTERRANEAN STRUCTURES COLLAPSING AND PROVIDE SAFE WORKING METHODS FOR A SAFE WORKPLACE.
- THE CONTRACTOR SHALL MAKE THEIR OWN INVESTIGATIONS AS TO THE SUBSURFACE CONDITIONS OF THE SITE.
- PRIOR TO PLANT OR VEHICLE MOVEMENTS ON THE SITE THE CONTRACTOR SHALL LOCATE ANY SUBTERRANEAN STRUCTURES, INCLUDING DISUSED PIPEWORK, SOAKWELLS AND SEPTIC TANKS AND REMOVE THESE. AFTER REMOVAL THE AREA SHALL BE THEN BACKFILLED WITH COMPACTED SAND FILL. SEPTIC TANKS SHALL BE DECOMMISSIONED AS PER THE LOCAL AUTHORITY REQUIREMENTS. THE CONTRACTOR SHALL ADVISE THE LOCAL AUTHORITY TO INSPECT THESE SEPTIC TANKS PRIOR TO REMOVAL. THE CONTRACTOR SHALL PROVIDE A PUMPING AND DISPOSAL CERTIFICATE FOR THE SEPTIC TANK EFFLUENT. THE LOCAL AUTHORITY MAY REQUIRE A STATUTORY DECLARATION SHOWING THE LOCATION OF THE SEPTIC TANKS AND CONFIRMING THEIR REMOVAL AS PER THEIR REQUIREMENTS.
- THE CONTRACTOR SHALL RAKE THE SITE TO 600mm DEPTH. ANY UNSUITABLE MATERIAL SHALL BE REMOVED OFF SITE AND BACKFILLED WITH IMPORTED CLEAN SAND FILL. THE RAKED GROUND SHALL THEN BE COMPACTED AS PER THE REQUIREMENTS FOR FILL. STOCKPILES ON THE SITE SHALL BE REMOVED OFF SITE. WHERE THE GEOTECHNICAL ENGINEER, APPOINTED BY THE CONTRACTOR, APPROVES PROCESSING OF THE STOCKPILE MATERIAL AND USE OF THE PROCESSED MATERIAL AS FILL, THIS SHALL BE PROVIDED IN WRITING FROM THE GEOTECHNICAL ENGINEER PRIOR TO USE AS FILL. THE RESULTING UNSUITABLE MATERIAL SHALL BE REMOVED OFF SITE. THE CONTRACTOR SHALL PROVIDE CERTIFICATION THAT THE RESULTING PROCESSED FILL IS FREE FROM CONTAMINATION.
- DELETERIOUS AND UNSUITABLE MATERIAL SHALL BE REMOVED OFF SITE.
- IMPORTED FILL SHALL BE CLEAN AND FREE DRAINING SAND. THE CONTRACTOR SHALL PROVIDE CERTIFICATION THE FILL IS NOT CONTAMINATED.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING TO EXISTING LOTS WHERE REQUIRED.
- THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND COMPACTION CERTIFICATES UPON COMPLETION OF EARTHWORKS.
- THE CONTRACTOR SHALL DECOMMISSION THE EXISTING BORES AND MAKE GOOD AS PER A STRUCTURAL ENGINEERS RECOMMENDATIONS. THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO PROVIDE CERTIFICATION OF THE BACKFILL METHODS OR OTHER RECOMMENDED METHODS TO MAKE GOOD TO THE BORE.

LEGEND

- 67 NATURAL SURFACE CONTOUR
- 15.0 FINISHED SURFACE CONTOUR (0.2m INCREMENTS)
- 17.00 FINISHED LOT PAD LEVEL
- 71.16 SWALE INVERT LEVEL
- LIMIT OF CONTRACT BOUNDARY
- EXISTING KERB LINE
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- TOW 18.00 TOP OF WALL LEVEL

ISSUED FOR CONSTRUCTION

No.	Revision	Checked	Approved	Date	No.	Revision	Checked	Approved	Date
E	COUNCIL AMENDMENTS.	ALS	PG	26.08.11					
D	LOT 2024 AND DETAILS AMENDED	ALS	PG	29.07.11					
C	DESIGN LOT LEVELS AMENDED	ALS	PG	21.07.11	1	WALL AND PAD LEVELS AMENDED	ALS	PG	23.11.11
B	ISSUED FOR CONSTRUCTION	ALS	PG	18.05.11	0	ISSUED FOR CONSTRUCTION	ALS	PG	03.10.11
A	PRELIMINARY ISSUE	ALS	PG	10-02-11	F	EXISTING LOT LEVELS ADDED	ALS	PG	05.09.11

NOTE  
 COPYRIGHT OF THIS DRAWING IS RESERVED BY GROUNDWORK. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS RELATING TO OTHER TRADES FOR ACCURATE CO-ORDINATION OF SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR "SITE CHECKING" ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING IS THE PROPERTY OF GROUNDWORK AND SHALL BE RETURNED UPON REQUEST. THIS DRAWING MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED.

Drawing File No. 6065-C01.DWG

**groundWORK**  
 Consulting Engineers

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Scale 0 10 20 40 60  
 1:1000  
 Half Size 1:2000 - SCALE (m)

Drawn: RJH 10-02-11  
 Designed: RJH 10-02-11

Drafting Check: Design Check

Approved: [Signature]

WAPC No. 141704 & 142257

Client: MILUC PTY LTD  
 Job: LOT 69 KINGSWAY ROAD, LANDSDALE  
 Title: BULK EARTHWORKS PLAN

Original Size: A1  
 Drg. No.: 6065-C01

Revision: 1