

**DETAILED AREA PLAN - PROPOSED LOTS 200 - 203 CLOVER APPROACH AND LOTS 204 & 205 ULLAPOOL PLACE SEVILLE GROVE
(FORMER LOTS 341 & 342 CLOVER APPROACH AND LOT 349 ULLAPOOL PLACE)**

DAP Provisions - Proposed Lots 204 & 203 Ullapool Place

1. GENERAL PROVISIONS

R-Coding	R17.5/25
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2. BUILDING SETBACKS

Street Setbacks	Minimum	Average
a) Primary Street – Dwelling	As per R-Codes	As per R-Codes
b) Secondary Street – Dwelling	As per R-Codes	-
c) Garage – Lot 205	1.5m (secondary street orientation)	-
d) Garage – Lot 204	0.5m behind the main building line of the dwelling	-

3. BUILDING FORM AND ORIENTATION

- a) The design of dwellings shall include an articulated primary/front style elevation in the direction of the 'primary dwelling orientation' arrow shown on the DAP. Both the 'primary dwelling orientation' and 'secondary dwelling orientation' elevations shall consist of at least one major opening overlooking the street.
- b) Roof pitch shall be 25% or greater.
- c) Dwellings shall include sufficient eaves or awnings (min. 300mm) to protect openings from summer sun.

4. VEHICULAR ACCESS AND GARAGES

- a) Garages and supporting structures are to be at least 0.5m behind the main part of the dwelling, unless constructed to a secondary street.
- b) Designated garage locations apply to the lots the subject of this DAP.

5. FENCING

- a) Secondary street boundary fencing forward of the primary street building setback line shall be visually permeable above 1.2m in height.

6. INCIDENTAL DEVELOPMENT

- a) Clothes drying areas, storage areas and ground based hot water storage tanks are to be screened from public view.
- b) All areas forward of the building line and in view of the public realm are to be landscaped.

DAP Provisions - Proposed Lots 200-203 Clover Approach

1. GENERAL PROVISIONS

R-Coding	R17.5/25
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2. BUILDING SETBACKS

Street Setbacks	Minimum	Average
a) Dwelling	As per R-Codes	As per R-Codes
b) Garage	0.5m behind the main building line of the dwelling	-

3. BUILDING FORM AND ORIENTATION

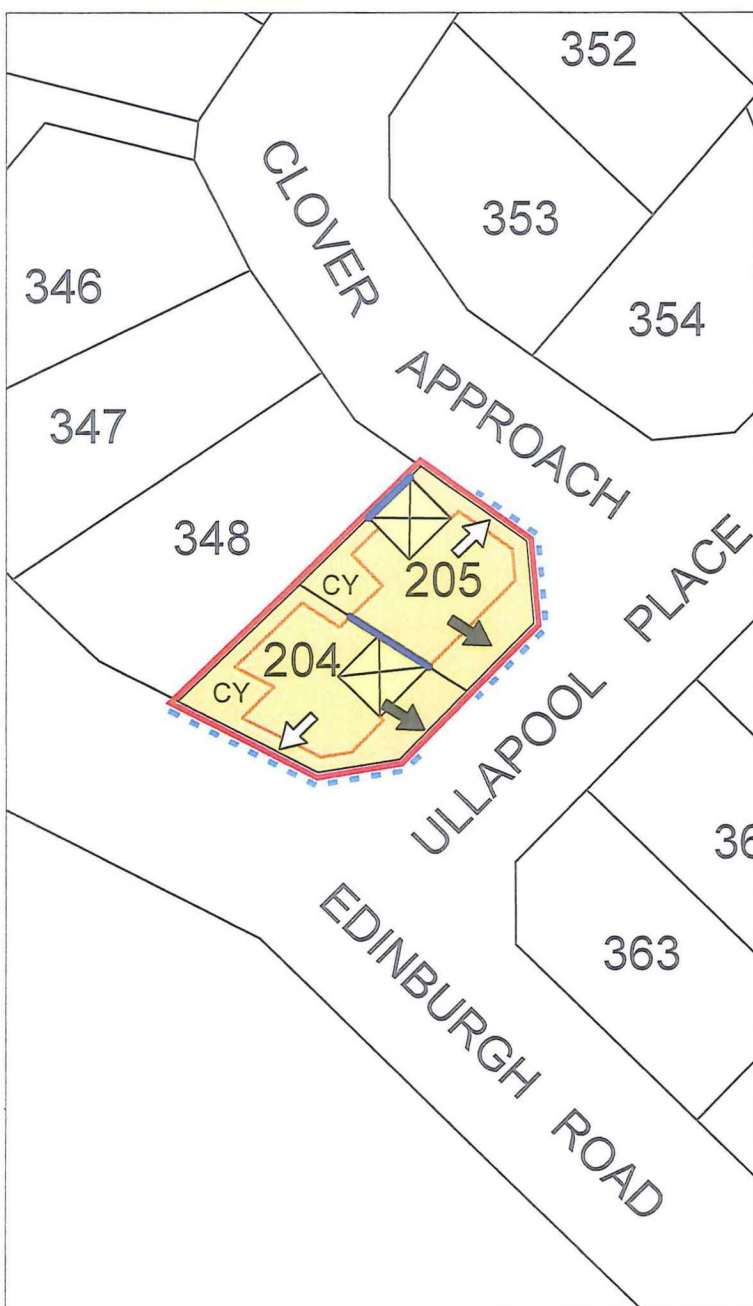
- a) The design of dwellings shall include an articulated primary/front style elevation in the direction of the 'primary dwelling orientation' arrow shown on the DAP. The primary/front style elevation shall consist of at least one major opening overlooking the primary street.
- b) Roof pitch shall be 25% or greater.
- c) Dwellings shall include sufficient eaves or awnings (min. 300mm) to protect openings from summer sun.

4. VEHICULAR ACCESS AND GARAGES

- a) Garages and supporting structures are to be at least 0.5m behind the main part of the dwelling.
- b) For lots with less than a 13m frontage, a front loaded double garage is permitted, subject to compliance with DAP provisions 3a) and 4a).
- c) Designated garage locations apply to the lots the subject of this DAP.

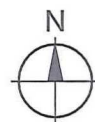
5. INCIDENTAL DEVELOPMENT

- a) Clothes drying and storage areas are to be screened from public view.
- b) All areas forward of the building line and in view of the public realm are to be landscaped.



LEGEND

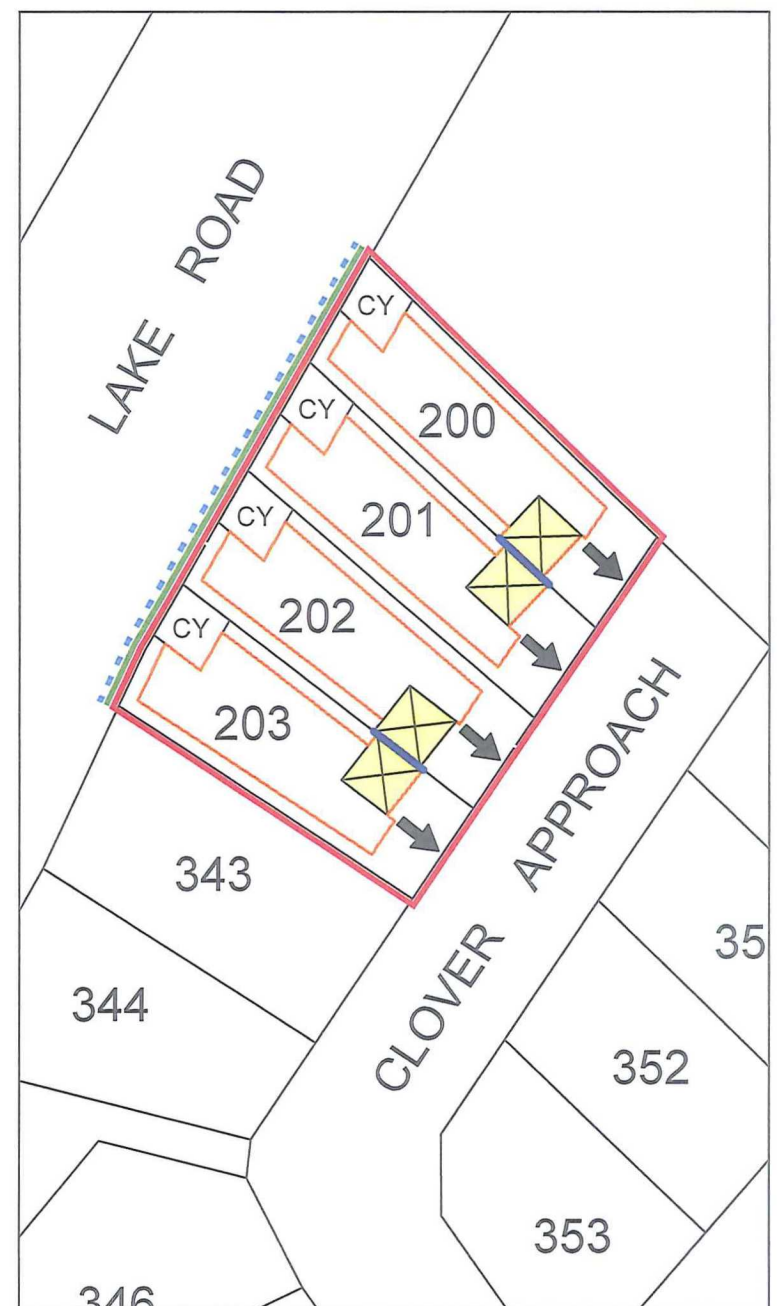
- DAP Boundary
- - - No Vehicle Access
- Indicative Building Envelope
- Nominated Nil Setback to Boundary
- Uniform Fencing
- CY Designated Garage Location
- CY Recommended Courtyard Location
- ➔ Primary Dwelling Orientation
- ➔ Secondary Dwelling Orientation
- R17.5 / 25
- R30



SCALE
1 : 750



LOCATION PLAN



The Detailed Area Plan has been approved by Council under Clause 6A.5 of Town Planning Scheme 4
 Executive Manager Planning Services
 City of Armadale Date 29/8/11



