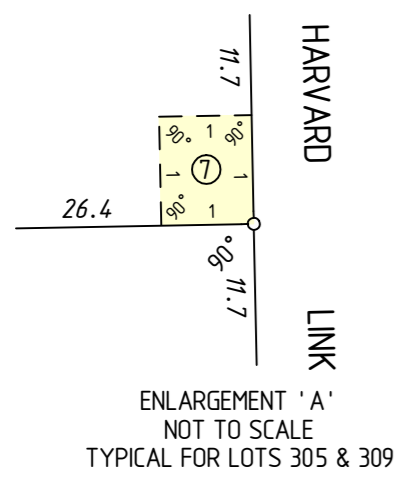
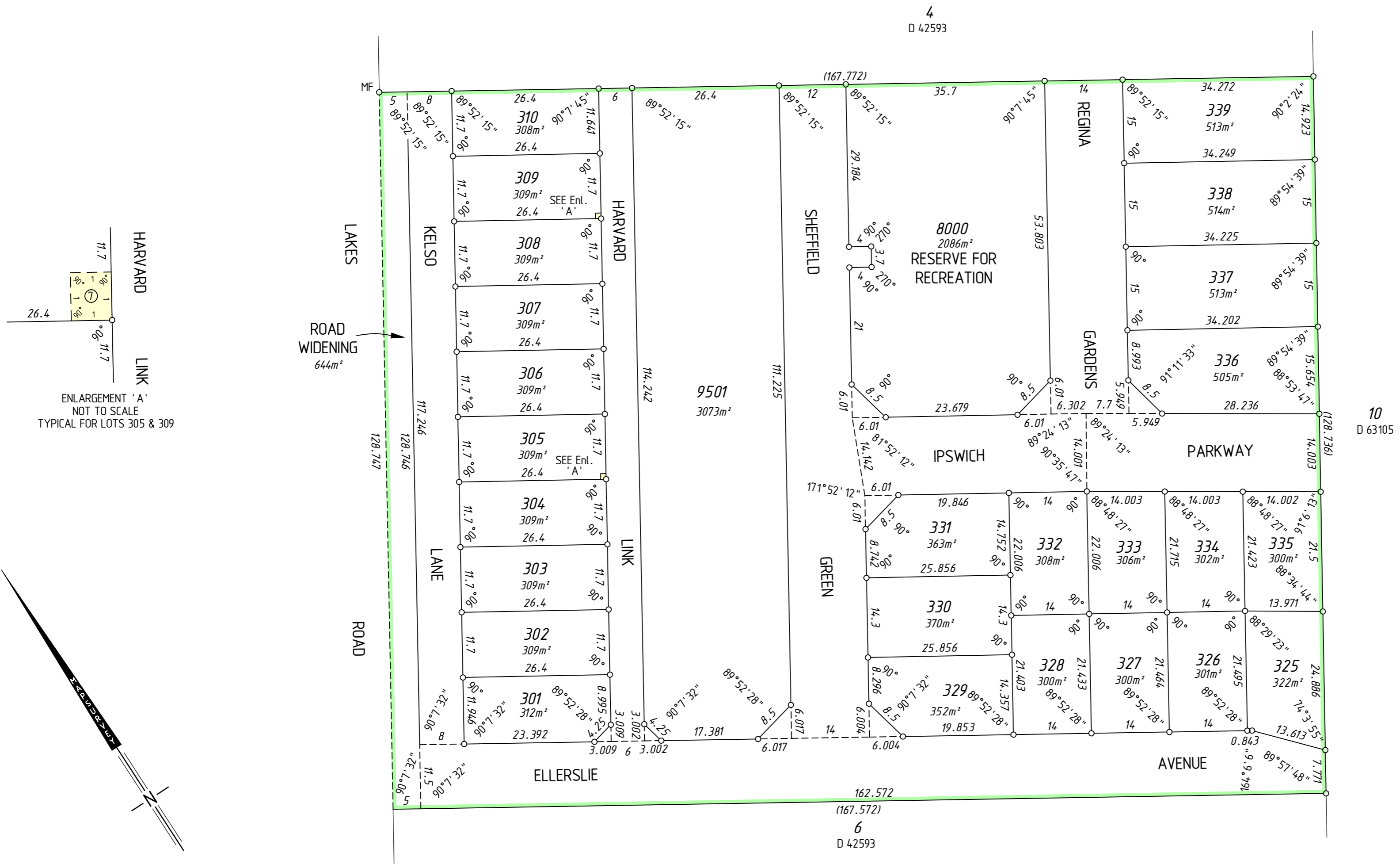


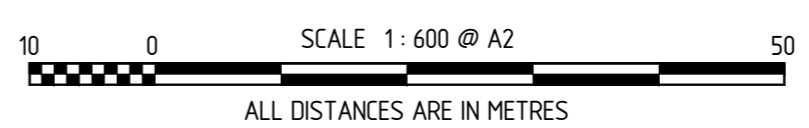
AMENDMENTS TABLE

VERSION	AMENDMENT	AUTHORISED BY	DATE
2	Remove lots 311-324	S.L. Torode	9/06/2008
3	Add survey sheet.	S.L. Torode	3/07/2008



INTERESTS AND NOTIFICATIONS

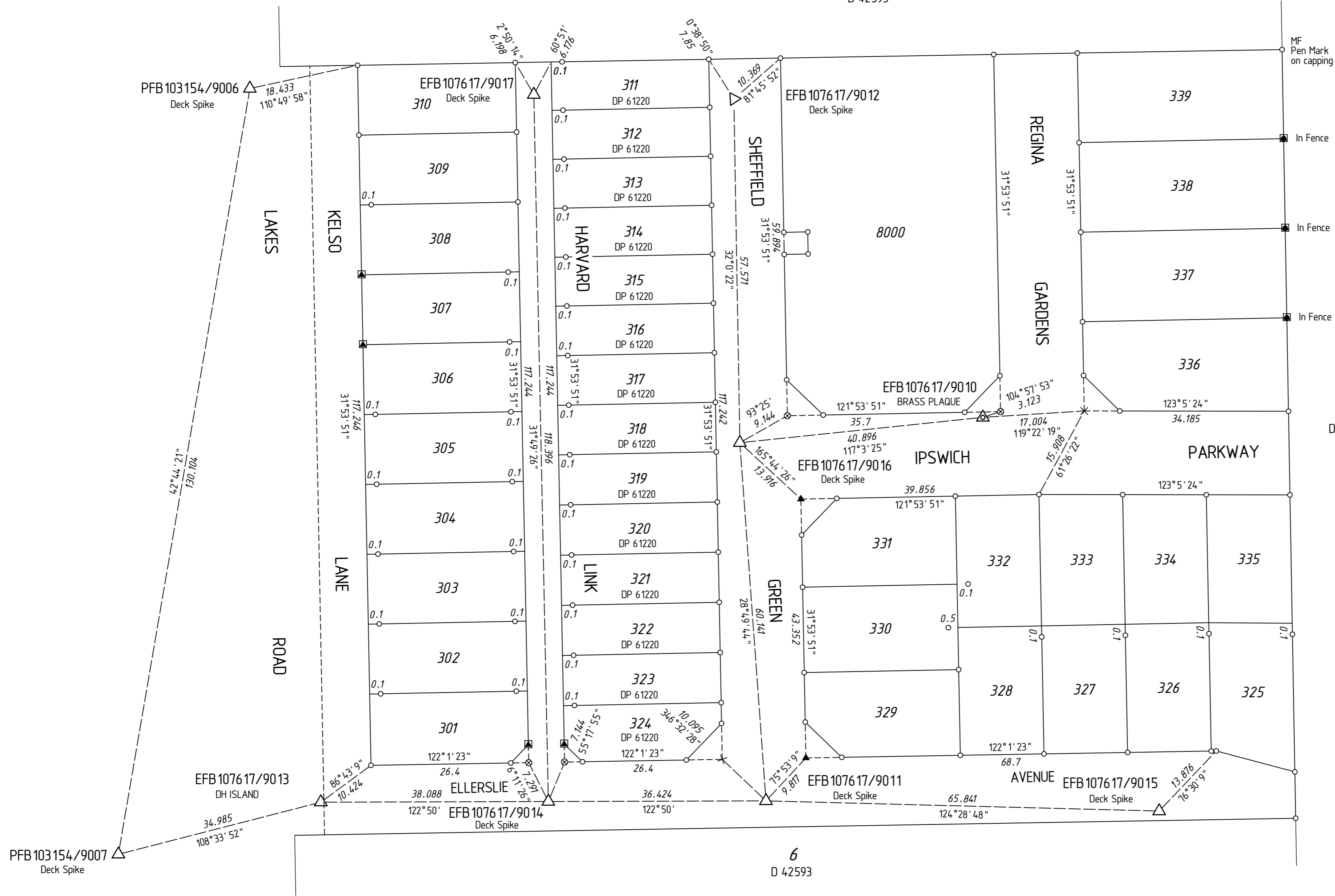
SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
⑦	EASEMENT (ABOVE GROUND ELECTRIC) RESTRICTIVE COVENANT	SEC 167 OF THE P & D ACT, REG 7 SEC 136D OF THE TLA	THIS PLAN THIS PLAN & DOC	LOT 305, 309 ALL LOTS EXCEPT 8000 & 9501	ELECTRICITY NETWORKS CORPORATION ALL LOTS EXCEPT 8000 & 9501	
LOT 8000	RESERVE FOR RECREATION NOTIFICATION	VESTS IN THE CROWN UNDER SEC 152 OF THE P & D ACT SEC 165 OF THE P & D ACT	THIS PLAN DOC	ALL LOTS EXCEPT 8000 & 9501		(MOSQUITOES)



SURVEY CARRIED OUT UNDER REG 26A
SPECIAL SURVEY AREA GUIDELINES
SEE SHEETS FOR SURVEY INFORMATION

ALL BOUNDARY / CORNER SURVEY MARKS SHOWN ON THIS SHEET ARE INDICATIVE ONLY. USE ONLY THE SURVEY SHEET/S WHEN DETERMINING THE TRUE FINAL POSITION AND TYPE OF ALL SURVEY MARKS PLACED PERTAINING TO THIS PLAN.

TYPE		FREEHOLD	
PURPOSE		SUBDIVISION	
PLAN OF			
LOTS 301-310, 325-339, 8000, 9501, ROADS, ROAD WIDENING, EASEMENTS AND RESTRICTIVE COVENANT			
DISTRICT	COCKBURN SOUND	S.S.A.	
TOWNSITE		YES	
D.P.I. FILE No.		FORMER TENURE	
LOCALITY	GREENFIELDS	LOT 5 ON D 52593 C/T 1322-350	
LOCAL AUTHORITY	CITY OF MANDURAH		
FIELD BOOK	103154	ON INDEX	SEE SMARTPLAN
SURVEYOR'S CERTIFICATE - Reg 54			
I, Stuart L. TORODE, hereby certify that this plan is accurate and is a correct representation of the (a) survey, and/or (b) calculations from measurements, (I delete if inapplicable), undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.			
FINAL			
Licensed Surveyor		Date	
McMULLEN NOLAN		PO Box 117, South Perth WA 6951 Telephone: (08) 6436 1599 Facsimile: (08) 6436 1500 Email: maps@mapsurvey.com.au	
SCALE: 1:600 at A2	MAPS Ref: 94341dp-009f DP594.11.CSD		
ALL DISTANCES ARE IN METRES			
LOGGED	TYPE OF VALIDATION		
DATE	FULL AUDIT	CERTIFIED CORRECT	
FEE PAID	LEGAL COMPONENT	I.S.C.	
ASSESS No.	DOCKET PLAN	F.S.C.	
APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION FILE 134721			
Delegated under Sec 16 P & D Act 2005			
SUBJECT TO IN ORDER FOR DEALINGS			
For INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER DATE			
<u>APPROVED</u>		REG26A (4)	
INSPECTOR OF PLANS & SURVEYS / AUTHORIZED LAND OFFICER		DATE	
Landgate		GOVERNMENT OF WESTERN AUSTRALIA	
Western Australian Land Information Authority			
DEPOSITED PLAN			
59411			
SHEET 1 OF 2 SHEETS		VERSION 3	



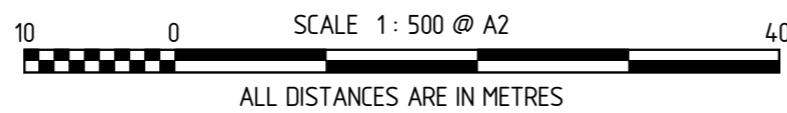
10
D 63105

FOR HEADING SEE SHEET 1
SURVEY INFORMATION ONLY
SURVEY SHEET

SURVEY CARRIED OUT UNDER REG 26A
SPECIAL SURVEY AREA GUIDELINES

ALL BEARINGS AND DISTANCES ON THIS SHEET
ARE THE RESULT OF LEAST SQUARES ADJUSTMENTS
CARRIED OUT ON FIELD OBSERVATIONS

GRID DATUM IS PCG94



LEGEND

- Denotes Peg unless stated otherwise
- ▲ Denotes Nail
- Denotes Nail and Plate
- × Denotes Spike
- Denotes Drill Hole
- ⊗ Denotes Deck Spike
- ⊠ Denotes Deck Spike and Plate
- ⊡ Denotes Standard Survey Mark (SSM)
- ⊢ Denotes Permanent Survey Mark (PSM)
- △ Denotes Permanent Control Mark (PCM)
- ⊞ Denotes Temporary Control Mark (TCM)

FOR HEADING SEE SHEET 1
FOR INTERESTS AND NOTIFICATIONS
SEE SHEET 1

SCALE: 1: 500
at A2
ALL DISTANCES ARE IN METRES

McMULLEN NOLAN
www.mcmullen.com.au

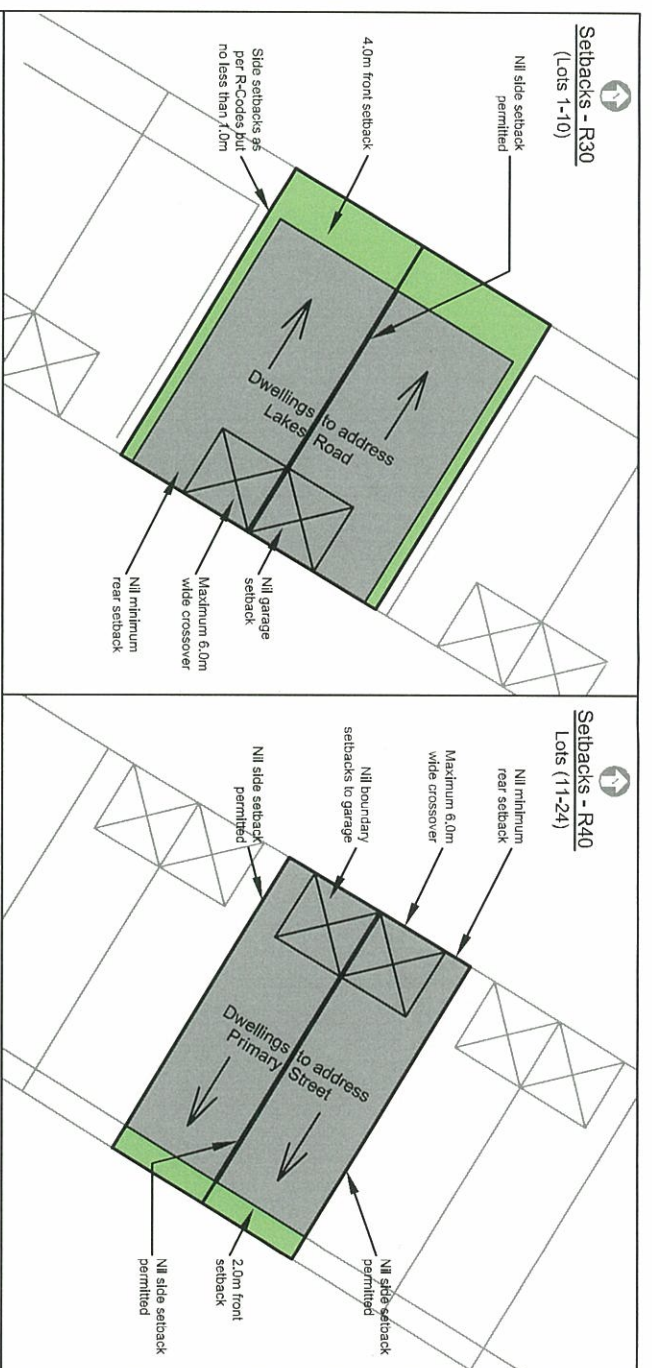
MAPS Ref
9434-1-9f
Stage 1
EFB 1076 17 .CSD

FINAL
Licensed Surveyor _____ Date _____
APPROVED BY WESTERN AUSTRALIAN PLANNING COMMISSION
FILE 134.721



Deposited under Sec 16 P & D Act 2005
DATE _____
SHEET 2 OF 2 SHEETS
VERSION 3

DEPOSITED PLAN
594 11



LOT 5 LAKES ROAD, GREENFIELDS - DETAILED AREA PLAN

Introduction
This Detailed Area Plan (DAP) has been prepared as a condition of the WAPC subdivision approval ref: 134721 for Lot 5 Lakes Road, Greenfields.

Operation
Development proposals will be assessed against the DAP as well as Town Planning Scheme No.3, adopted Local Planning Policies and the Residential Design Codes (R-Codes) requirements.

Aim
The primary aim of the DAP is to provide guidance in the design of dwellings and associated development.

Objectives

- The objectives of the DAP are to:
- Provide for flexible, functional and affordable dwelling designs;
 - To ensure passive surveillance of the POS;
 - To create attractive streetscapes; and
 - To manage vehicular access to the dwellings.

Residential Design Codes Density

The Residential Design Code Density that applies to the lots include:

- (R30) Lots 1-10 and 25 and 27
- (R40) Lots 11-24

Detailed Area Plan Provisions

The District Planning Scheme and R-Codes are varied in the following manner:

1. Vehicle access to Lots 1-24 is required from the shared rear laneway;
2. Principal entries to dwellings on Lots 1-10 are to address Lakes Road;
3. Principal entries to dwellings on Lots 11-24 are to address the primary street;
4. Garages to Lots 1-24 are to be provided with a nil setback from the shared rear laneway. Garages to Lots 25 and 27 are to be setback a minimum of 1.5 metres;
5. Lots 11-20 and Lot 27 must facilitate passive surveillance of the Public Open Space (POS) through the provision of at least one major opening to a habitable room facing the POS;
6. The front setbacks to Lots 1-10 are to be a minimum of 4 metres. Front setbacks to Lots 11-24 to be 2 metres;
7. Walls built up to boundaries (parapet walls) are not to be higher than 6 metres;
8. Side setbacks for Lots 1-10 that are not on the boundary are to be setback from that boundary in accordance with the R-Codes.

Variations to the Detailed Area Plan may be approved by the City of Mandurah with due regard to the Performance Criteria of the R-Codes and adopted Local Planning Policies.

This Detailed Area Plan has been adopted by Council and signed by the Manager Planning & Projects.

Atyona
CITY OF MANDURAH
DATE 19/11/2007
APPROVED



Legend

- Ground floor building envelope
- Designated garage location
- Designated open space areas

Manager Planning & Projects

Date



Detailed Area Plan
Lot 5 Lakes Road
GREENFIELDS

Designer: PSDL
Drawer: SL

TOWN PLANNING
AND URBAN DESIGN

