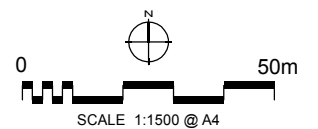


## SALES PLAN

LOT 28 (No. 161) HILBERT ROAD  
HILBERT

The particulars set out in this brochure plan, including use and dimensions, are for guidance and shall not be taken as representations of warranties by the vendor or its agents and a purchaser should undertake inspection and enquiry independently to verify the correctness of each item. Landscaping details are conceptual only and subject to modification.



DETAILED AREA PLAN  
LOT 28 HILBERT ROAD, HILBERT

LEGEND:

- DAP Boundary
- Specified DAP provisions boundary as required under WAPC approval (REF: 149721)
- ⊗ Designated Double Garage Location
- ⊗ Alternative Garage Location



This Detailed Area Plan has been approved by the Metropolitan Redevelopment Authority in accordance with clause 4.4 of the Wungong Urban Water Redevelopment Scheme.

CEO MRA *[Signature]* Date 29.2.16

GENERAL PROVISIONS

All lots on this DAP are identified as 'Suburban' under the Wungong Urban Water Redevelopment Scheme 2007 (the Scheme). This DAP provides additions and variations to the acceptable development provisions of the Scheme and the Zone Development Policy - Residential Zones (ZDP) as detailed below. The requirements of the Scheme and the ZDP shall be satisfied in all other matters.

This DAP applies only to Lots 531 - 534 and Lot 559 except for the stormwater drainage provision noted below - which applies to all lots.

Designated garage locations for all corner lots have also been shown on the DAP.

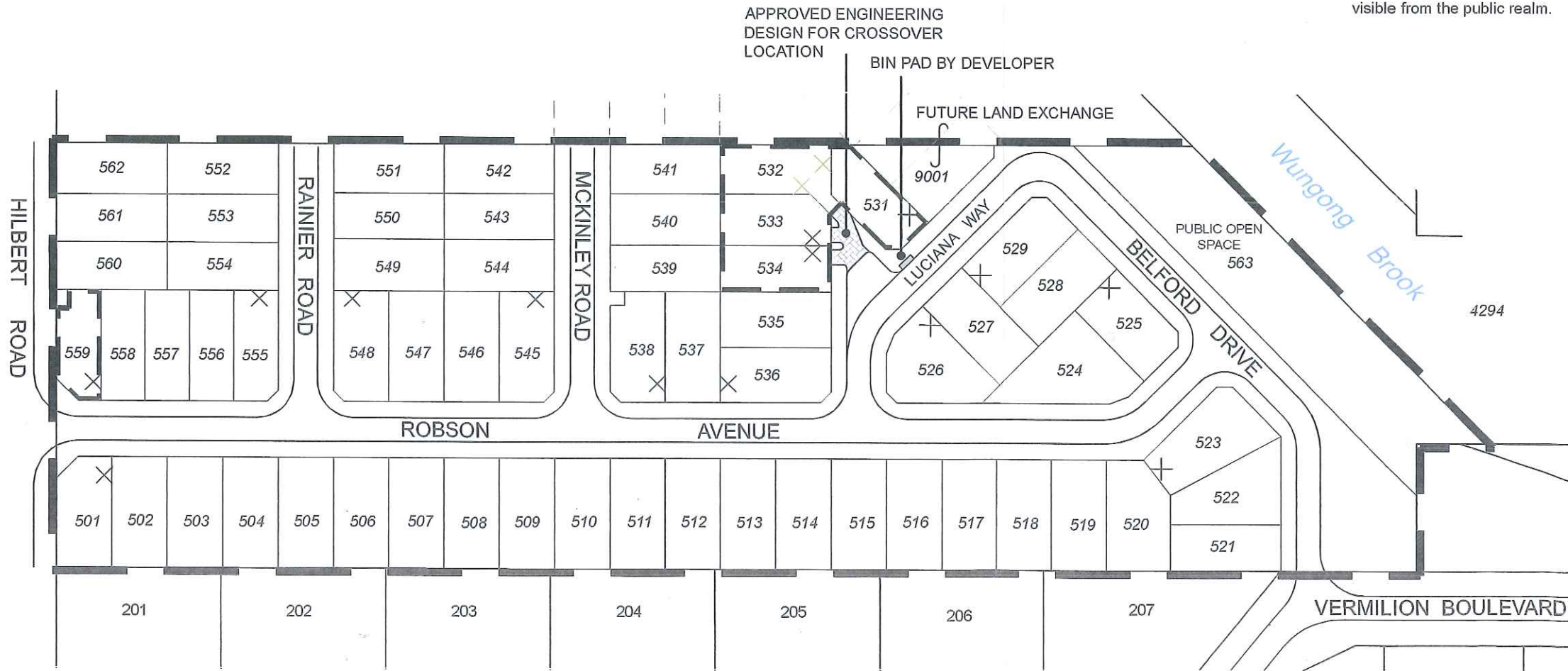
VARIATIONS TO THE ZONE DEVELOPMENT POLICY - LOTS 531 - 534 AND LOT 559

Garage Setbacks

- Garages shall be setback a minimum 3.5m from the primary street.
- Garages shall be setback a minimum of 0.5m from the main building line (excluding any porch, verandah or balcony).
- Garages shall be setback a minimum of 1.5m from the secondary street.

INCIDENTAL DEVELOPMENT REQUIREMENTS - ALL LOTS

- All stormwater drainage will be directed to on-site soakwells in accordance with 100 L of storage per 10m<sup>2</sup> of connected roof or impervious area (as described in the approved Urban Water Management Plan). All soakwells are to be inter-connected and the depth of the soakwell units shall not exceed 900mm. Each lot is to provide a grated overflow from one front soakwell or connection pit for relief of stormwater flows in excess of the on-site storage capacity.
- Drying areas shall be located at the side of the dwellings and screened from the street and POS.
- Outbuildings shall be designed and constructed from materials to match the dwelling when visible from the public realm.



NOTE  
Pavements diagrammatic only

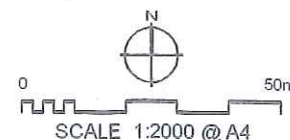
DETAILED AREA PLAN (LOCAL DEVELOPMENT PLAN)

LOT 28 (No. 161) HILBERT ROAD  
HILBERT

PREPARED FOR CITIMAZE INVESTMENTS PTY LTD

DATE: 24th FEBRUARY 2016

THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM WHATSOEVER IS PROHIBITED.

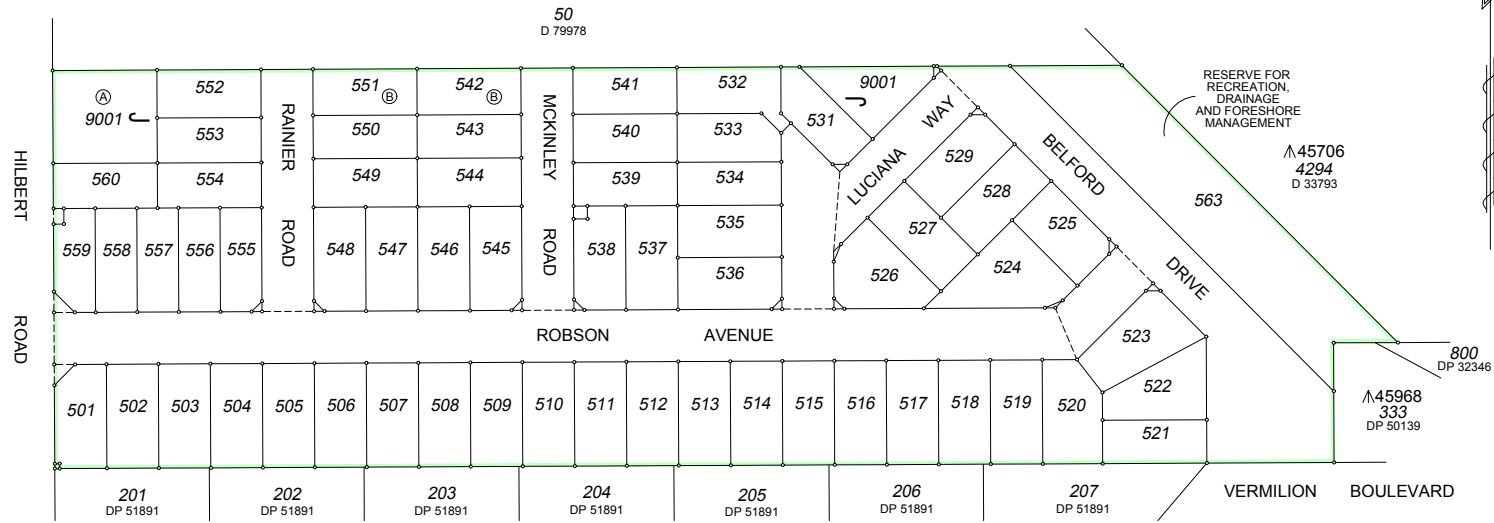


Suite 5, 2 Hardy Street  
South Perth, WA 6151  
T (08) 9474 1722  
F (08) 9474 1172  
perth@graylewis.com.au

AMENDMENT TABLE (PLAN GRAPHIC ONLY)			
VER.	AMENDMENT	AUTHORISED BY	DATE
2	ADDITION OF ROAD WIDENING INFORMATION	CRAIG MILLER	26.07.2016

HELD BY LANDGATE IN DIGITAL FORMAT ONLY

SEE SHEETS 2 AND 3 FOR LOT DETAIL



TYPE	FREEHOLD	S.S.A.	YES
PURPOSE	SUBDIVISION		
PLAN OF	LOTS 501-529, 531-560, 563, 9001, ROADS & ROAD WIDENINGS		
FORMER TENURE	LOT 28 ON D 33793 C/T 413-95A		
LOCAL AUTHORITY	CITY OF ARMADALE		
LOCALITY	HILBERT		
D.O.L. FILE	FIELD RECORD 136836		
SURVEYOR'S CERTIFICATE - REG 54	I. CRAIG MILLER hereby certify that this plan is accurate and is a correct representation of the - (a) *survey; and/or (b) *calculations from measurements recorded in the field records. [* delete if inapplicable] undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged. Craig Miller 2016.07.27 14:43:12 +08'00'		
LICENSED SURVEYOR	DATE	LOGGED	ASSESS No.
22-Jul-16	\$4558.50	19837709	
DATE	FEE PAID	I.S.C.	
2016.07.27 14:43:12 +08'00'		EXAMINED	
		G.FONG	28-Jul-16 DATE
		WESTERN AUSTRALIAN PLANNING COMMISSION FILE 149721	
		Delegated under S.16 P&D Act 2005	14-Sep-2016 DATE
		IN ORDER FOR DEALINGS	
SUBJECT TO	Sec's 152, 168(1)(2) & 168(3) P&D ACT Sec 195 & Sec 195 & 196 LAA		
			14-Sep-16 DATE
		FOR INSPECTOR OF PLANS AND SURVEYS	
		APPROVED - REG 26A (4)	
			16.9.2016 DATE
		INSPECTOR OF PLANS AND SURVEYS (S. 18 Licensed Surveyors Act 1909)	
		DEPOSITED PLAN	
		406274	
		SHEET 01 OF 03 SHEETS (PLUS SURVEY SHEET(S))	
		VERSION 2	

INTERESTS & NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
(A)	EASEMENT	SEC 195 OF THE LAA	DOC. N436288	LOT 9001	LOCAL GOVERNMENT	
(B)	EASEMENT	SEC 195 & 196 OF THE LAA	DOC. N436287	LOTS 542 & 551	LOCAL GOVERNMENT & THE PUBLIC AT LARGE	
LOT 563	RESERVE FOR RECREATION, DRAINAGE, & FORESHORE MANAGEMENT	VEST IN THE CROWN UNDER SEC 152 OF THE P&D ACT				

**SPECIAL SURVEY AREA SUBDIVISION**

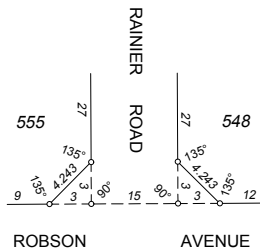
SPECIAL SURVEY AREA SUBDIVISION  
SURVEY CARRIED OUT UNDER REG 26A SPECIAL SURVEY AREA GUIDELINES  
SEE SURVEY SHEET(S) FOR SURVEY INFORMATION

SCALE: 1:1000 @ A2  
ALL DISTANCES ARE IN METRES





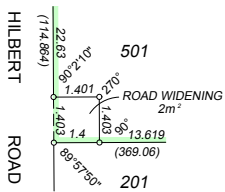
FOR HEADING SEE SHEET 1  
FOR INTERESTS & NOTIFICATIONS SEE SHEET 1



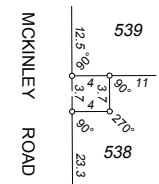
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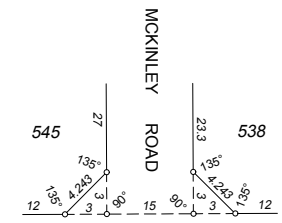
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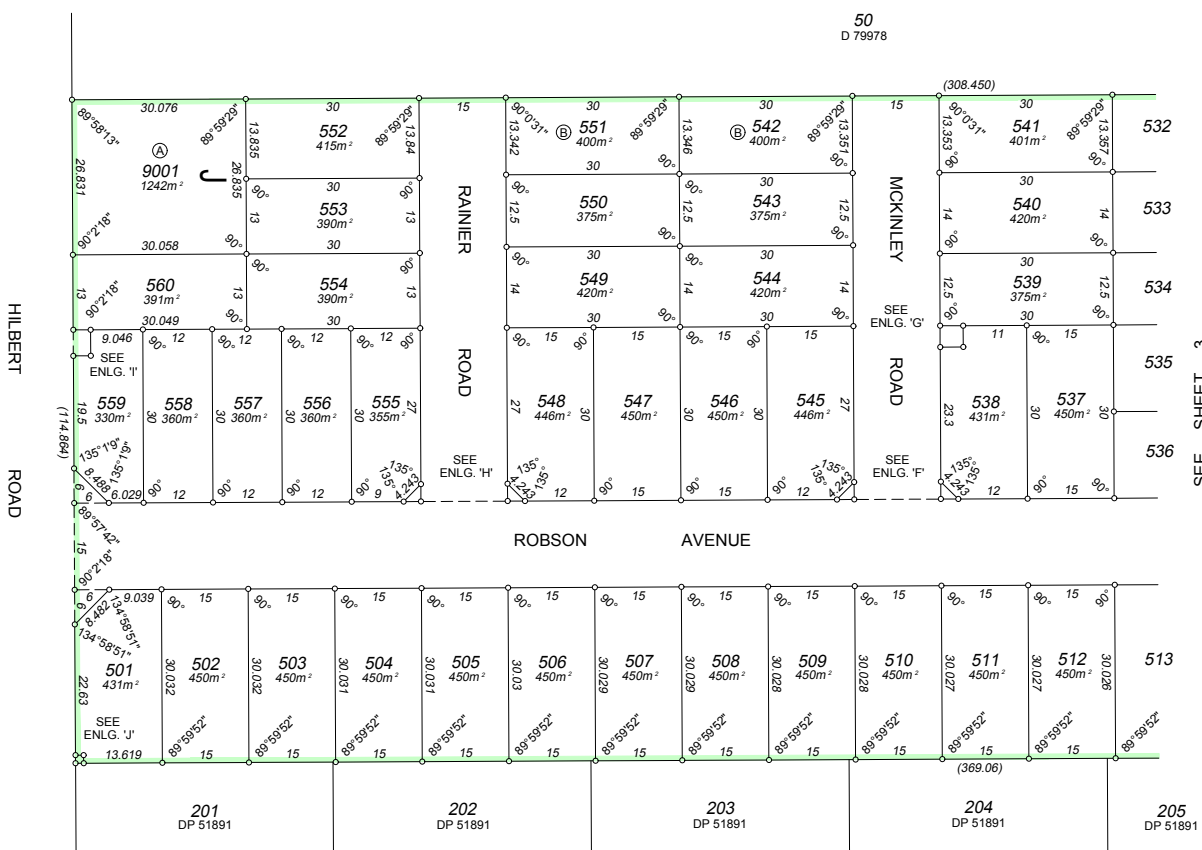
ENLARGEMENT 'J'  
NOT TO SCALE



ENLARGEMENT 'G'  
NOT TO SCALE



ENLARGEMENT 'F'  
NOT TO SCALE



SEE SHEET 3

SPECIAL SURVEY AREA  
SUBDIVISION  
SURVEY CARRIED OUT UNDER REG 26A  
SPECIAL SURVEY AREA GUIDELINES  
SEE SURVEY SHEET(S) FOR SURVEY  
INFORMATION

SCALE: 1:600 @ A2  
ALL DISTANCES ARE IN METRES

LICENSED SURVEYOR DATE

Landgate

DEPOSITED PLAN  
**406274**  
SHEET 02 OF 03 SHEETS  
(PLUS SURVEY SHEET(S))  
VERSION 2

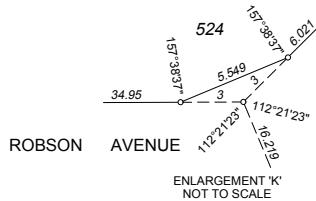
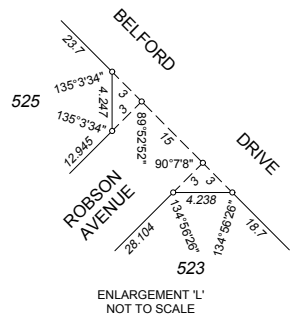
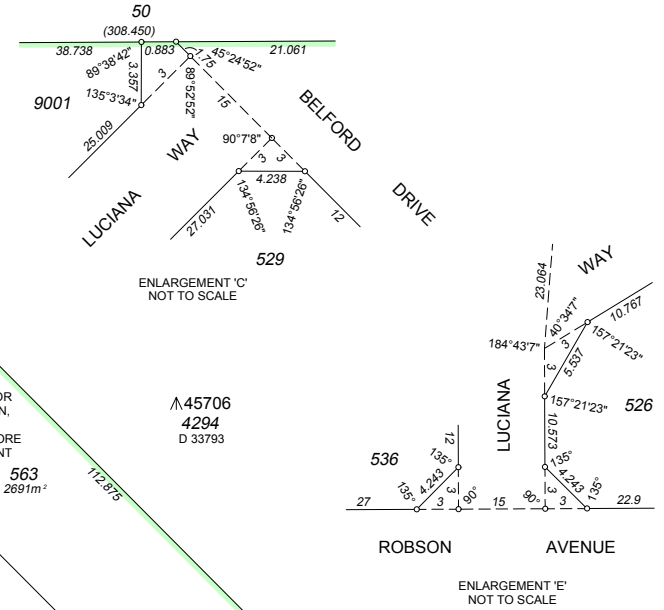
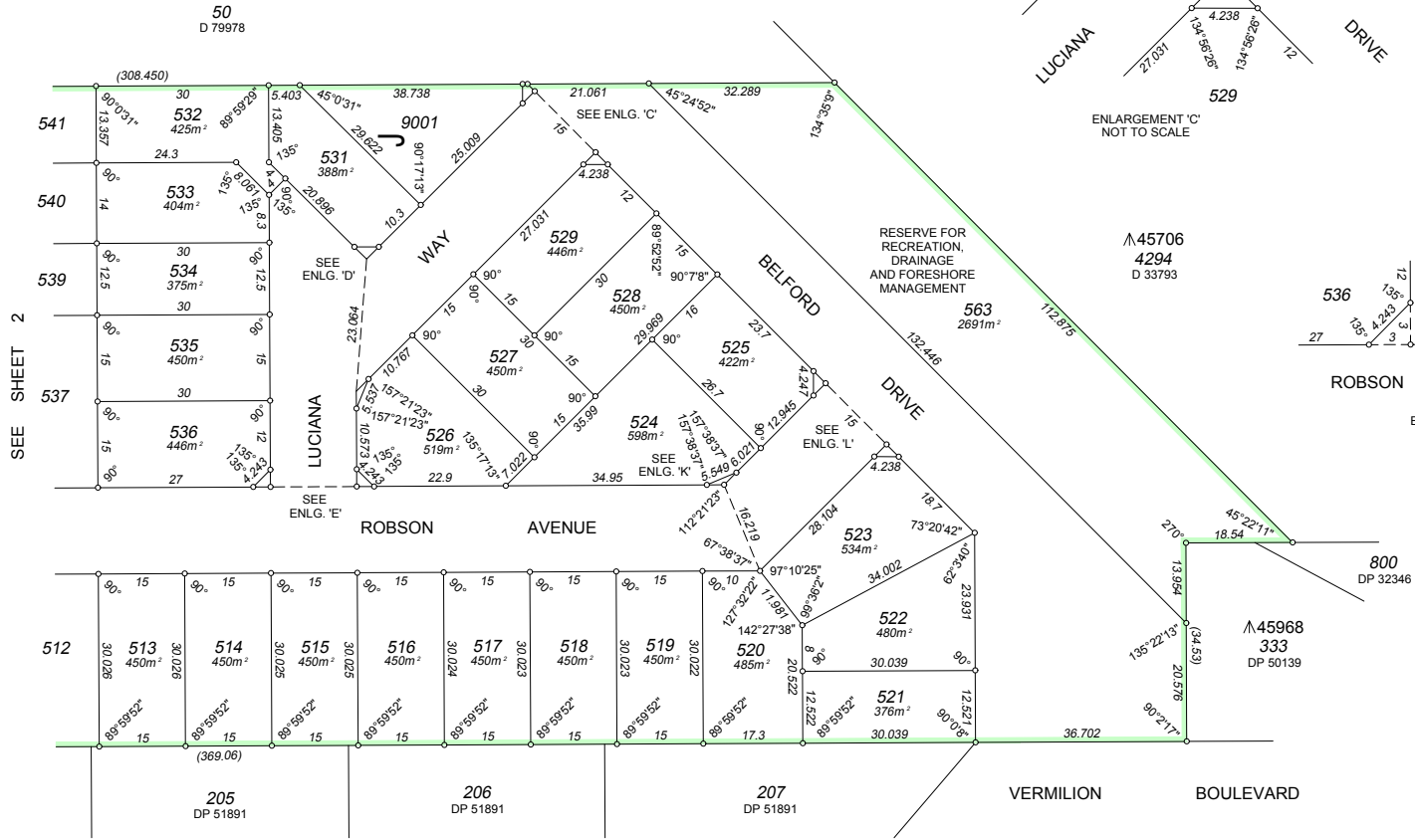
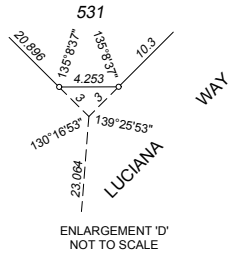
HELD BY LANDGATE IN DIGITAL FORMAT ONLY

LANDGATE COPY OF ORIGINAL NOT TO SCALE Tue Oct 4 10:56:33 2016 JOB 52100698

www.landgate.wa.gov.au

**VISION SURVEYS**  
Licensed & Engineering Surveyors  
Land Development  
Consultants  
Project Managers  
TEL (08) 6144 0000 FAX (08) 6144 0099  
89 SCARBOROUGH BEACH RD.  
SCARBOROUGH WA 6019  
Email: info@visionsurveys.com.au

FOR HEADING SEE SHEET 1  
FOR INTERESTS & NOTIFICATIONS SEE SHEET 1



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SPECIAL SURVEY AREA  
SUBDIVISION  
SURVEY CARRIED OUT UNDER REG 26A  
SPECIAL SURVEY AREA GUIDELINES  
SEE SURVEY SHEET(S) FOR SURVEY  
INFORMATION



LICENSED SURVEYOR DATE  
  
Landgate  
DEPOSITED PLAN  
**406274**  
SHEET 03 OF 03 SHEETS  
(PLUS SURVEY SHEET(S))  
VERSION 2

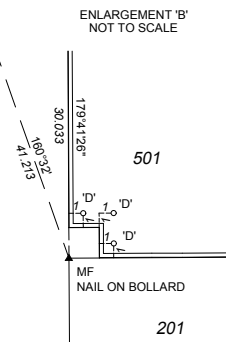
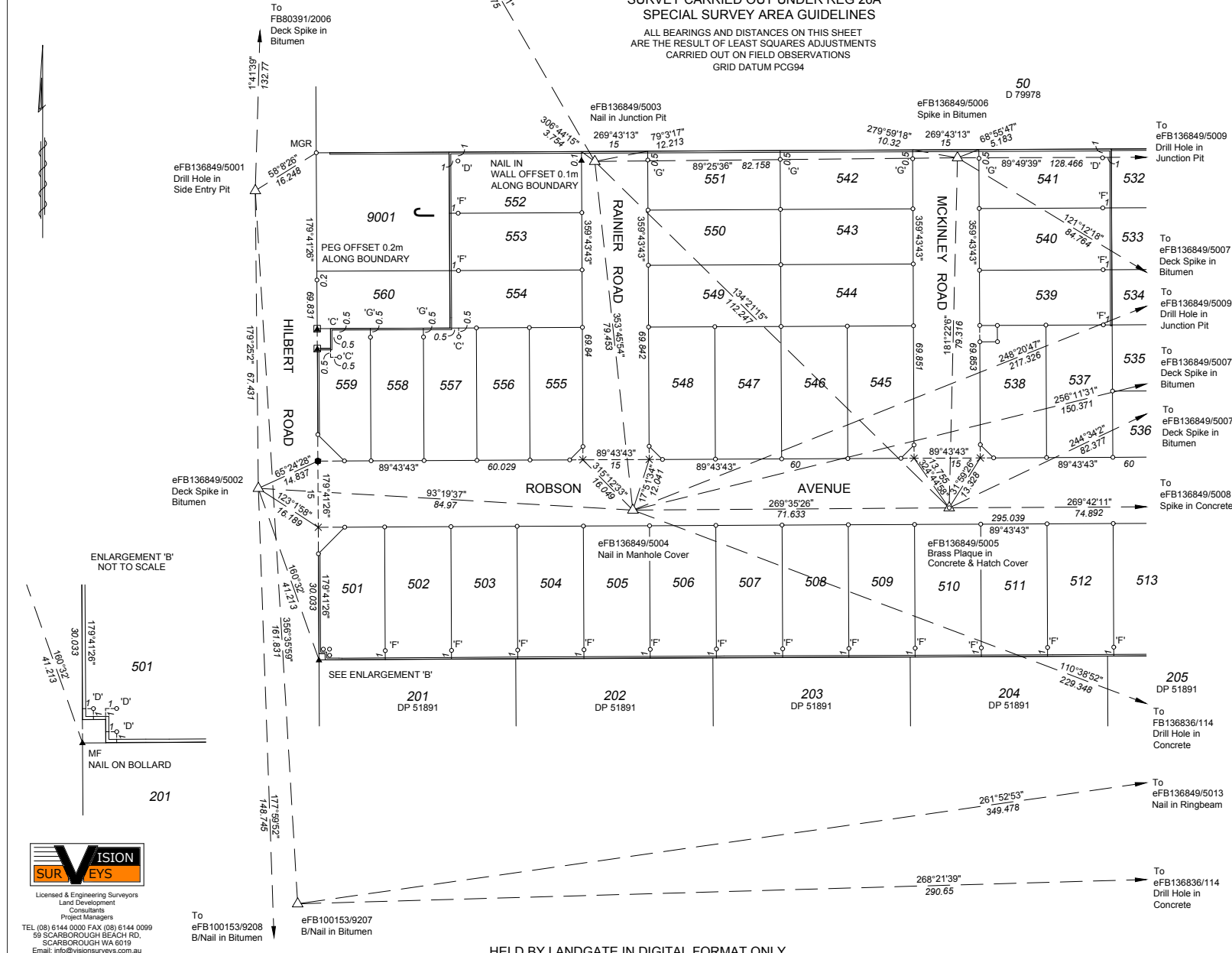
VER.	AMENDMENT	AUTHORISED BY	DATE

## FOR SURVEY INFORMATION ONLY

### SURVEY INFORMATION COMPRISES SURVEY SHEETS A & B

SURVEY CARRIED OUT UNDER REG 26A  
SPECIAL SURVEY AREA GUIDELINES

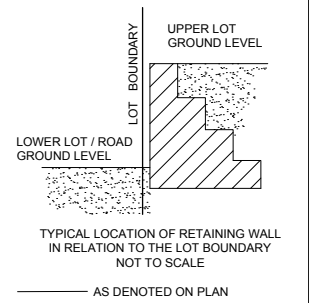
ALL BEARINGS AND DISTANCES ON THIS SHEET  
ARE THE RESULT OF LEAST SQUARES ADJUSTMENTS  
CARRIED OUT ON FIELD OBSERVATIONS  
GRID DATUM PCG94



**SURVEYOR'S CERTIFICATE - REG 54**  
I, CRAIG MILLER  
hereby certify that this plan is accurate and is a correct representation of the -  
(a) \*survey; and/or  
(b) \*calculations from measurements recorded in the field records.  
[\* delete if inapplicable]  
undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.

**SURVEYOR'S CERTIFICATE - REG 55E(d)**  
The marks shown on these plans of survey were in place on 12/7/2016

Craig Miller  
2016.09.07 14:49:26  
+0800'  
LICENSED SURVEYOR DATE



- LEGEND**
- ▲ Standard Survey Mark (SSM)
  - △ Permanent Survey Mark (PSM)
  - ⊠ Permanent Control Mark (PCM)
  - ⊞ Temporary Control Mark (TCM)
  - Peg unless stated otherwise
  - ▲ Nail
  - ⊠ Nail and Plate
  - × Spike
  - Drill Hole
  - ⊗ Deck Spike
  - ⊞ Deck Spike and Plate
  - 'C' PEG IS OFFSET 0.5m FROM EACH BOUNDARY
  - 'D' PEG IS OFFSET 1m FROM EACH BOUNDARY
  - 'F' PEG IS OFFSET 1m ALONG BOUNDARY
  - 'G' PEG IS OFFSET 0.5m ALONG BOUNDARY

SCALE: 1:600 @ A2  
ALL DISTANCES ARE IN METRES

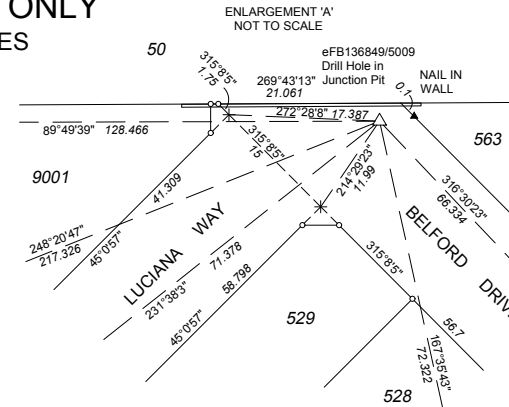


**DEPOSITED PLAN**  
**406274**  
SURVEY SHEET A  
VERSION 1

**VISION SURVEYS**  
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Land Development  
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TEL (08) 8144 0000 FAX (08) 8144 0099  
59 SCARBOROUGH BEACH RD.  
SCARBOROUGH WA 6019  
Email: info@visionsurveys.com.au

**FOR SURVEY INFORMATION ONLY**  
**SURVEY INFORMATION COMPRISES**  
**SURVEY SHEETS A & B**  
**SURVEY CARRIED OUT UNDER REG 26A**  
**SPECIAL SURVEY AREA GUIDELINES**

ALL BEARINGS AND DISTANCES ON THIS SHEET  
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 GRID DATUM PCG94



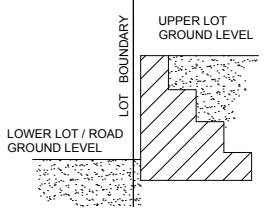
**SURVEYOR'S CERTIFICATE - REG 54**

I, **CRAIG MILLER**  
 hereby certify that this plan is accurate and  
 is a correct representation of the -  
 (a) \*survey; and/or  
 (b) \*calculations from measurements  
 recorded in the field records.  
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 and that it complies with the relevant  
 written law(s) in relation to which it is  
 lodged.

**SURVEYOR'S CERTIFICATE**  
**- REG 55E(d)**

The marks shown on these plans of survey  
 were in place on 12/7/2016

*Craig Miller*  
 2016.09.07  
 14:49:40 +08'00'  
 LICENSED SURVEYOR DATE



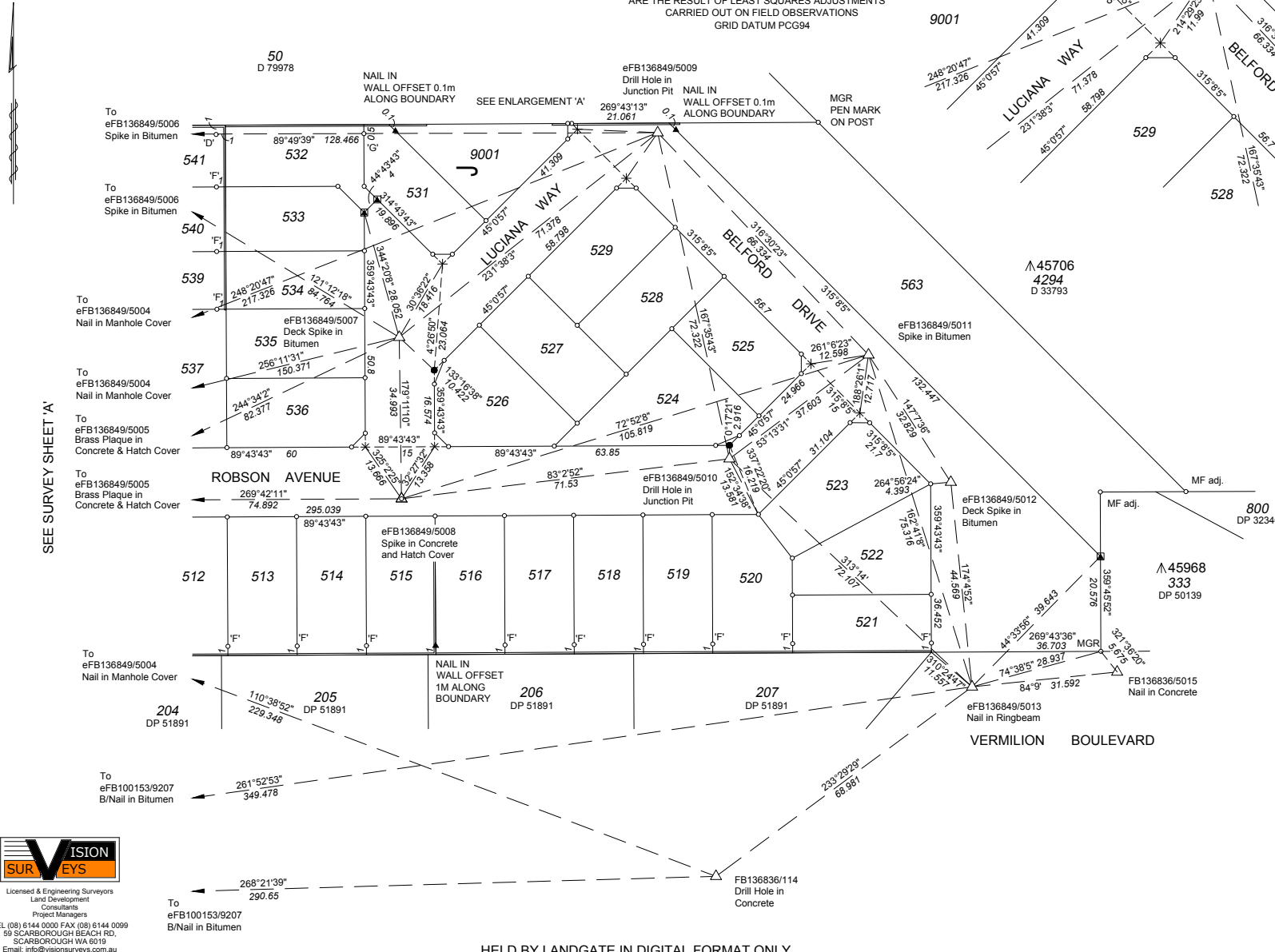
TYPICAL LOCATION OF RETAINING WALL  
 IN RELATION TO THE LOT BOUNDARY  
 NOT TO SCALE

AS DENOTED ON PLAN

**LEGEND**

- ▲ Standard Survey Mark (SSM)
- △ Permanent Survey Mark (PSM)
- ▽ Permanent Control Mark (PCM)
- ⊠ Temporary Control Mark (TCM)
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- Nail
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- 'D' PEG IS OFFSET 1m FROM EACH BOUNDARY
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SCALE: 1:600 @ A2  
 ALL DISTANCES ARE IN METRES



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GOVERNMENT OF WESTERN AUSTRALIA

**DEPOSITED PLAN**  
**406274**  
 SURVEY SHEET B  
 VERSION 1