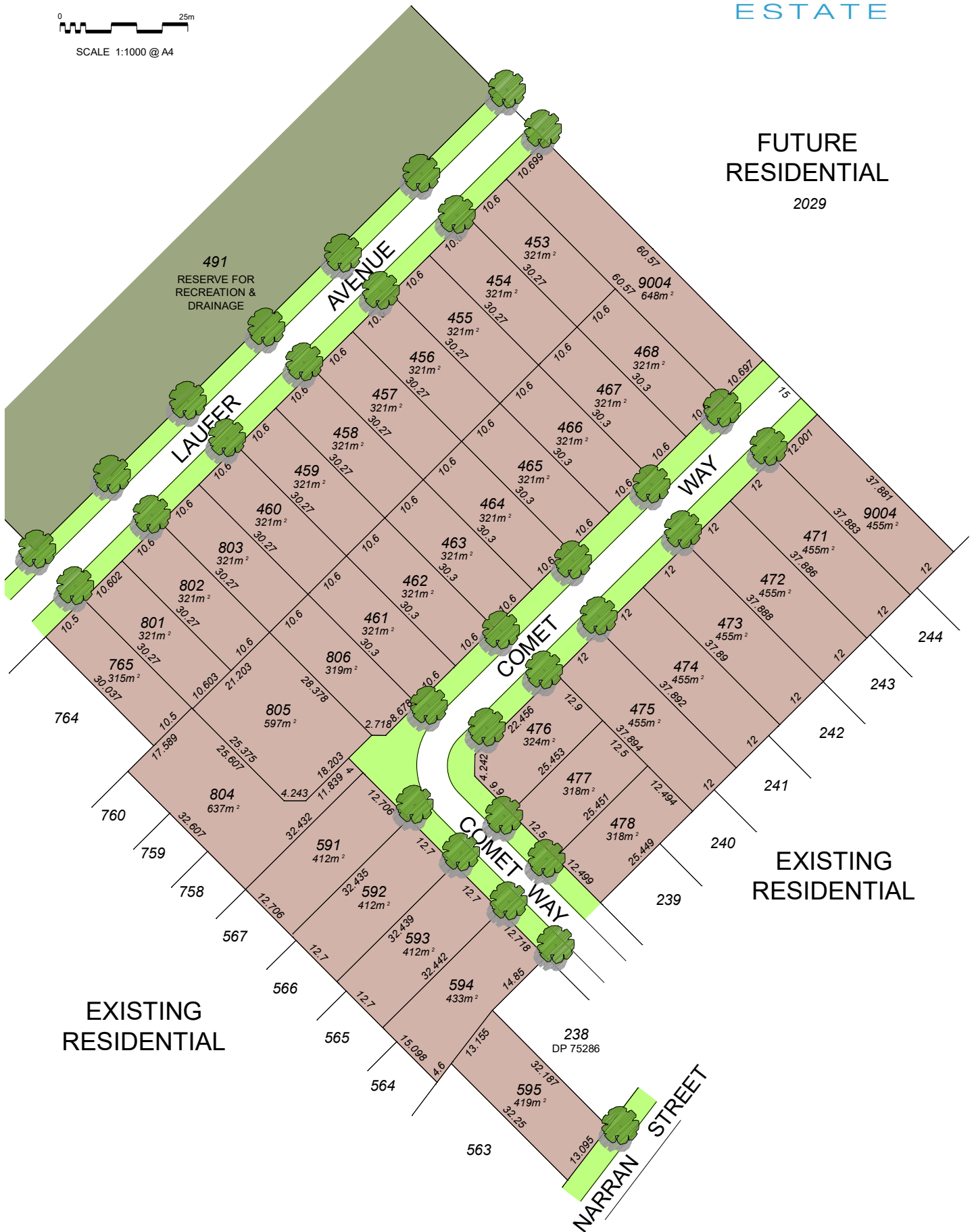


**FUTURE  
RESIDENTIAL**  
2029



**SALES PLAN**  
SIENNA SPRINGS - STAGE 3B  
HILBERT

**LOCAL DEVELOPMENT PLAN PROVISIONS LOT 16 FORREST ROAD, HILBERT**

This Local Development Plan (LDP) is made pursuant to the requirements of the Armadale Redevelopment Scheme 2 (The Scheme) and the Residential Design Codes (R-Codes) as shown on the plan and detailed below. The requirements of the Scheme and the R-Codes, shall be satisfied in all other matters.

**GENERAL PROVISIONS ALL LOTS**

**Zoning** All lots the subject of this LDP are included in the Suburban Place Code (R35) with the exception of Lots 450, 451, 453, 454, 467, 468 & 471 which are in the Urban Place Code (R50).

**GENERAL VARIATIONS TO ALL LOTS (EXCEPT WHERE OTHERWISE VARIED IN THE LDP)**

**Garage Setbacks**

- Garages are to be setback a minimum of 4.5m from the primary street and 0.5m behind the dwelling alignment.
- With the exception of Lots 403 and 404, all corner lots are to have vehicular access from the secondary street and garages shall be setback a minimum of 1.5m from the secondary street.
- For front loaded lots with street frontages less than 12m but greater than 8m, a double garage is permitted to a maximum width of 6m as viewed from the street subject to:
  - Garages setback a minimum of 1.0m behind the dwelling alignment;
  - An entry feature consisting of a porch (not a paved area), portico or verandah with a minimum depth of 1.2m.

**Lot Boundary Setbacks**

For lots less than 11m in width, walls are permitted to both side boundaries subject to:

- 2/3 maximum length to one side boundary, behind the front setback;
- 1/3 maximum length to second boundary, behind the front setback;
- Boundary walls are not permitted to a secondary street.

The application of this provision is subject to the dwelling being designed to provide a high level of architectural detail to the front elevation to assist in reducing the dominant appearance of the garage from the primary street. Two articulation elements to be provided. Articulation elements may be achieved by providing varied building materials, variation in depth through use of projections, recesses, eaves, porticos, verandahs etc, defining window openings, doorways and fenestration and/or feature roofs and overhang elements.

**Open Space and Outdoor Living Area**

Minimum open space 40% subject to:

- An outdoor living area (OLA) with an area of 10% of the lot size directly accessible from a habitable room of the dwelling and located behind the street setback area.
- At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas.
- The OLA having a minimum 4m length and width dimension.

**SQUAT LOTS (450, 451, 476 - 478)**

**Building Setbacks**

- Primary street setback 2.0m minimum, with no averaging permitted
- Porch / verandah 1.5m minimum setback from the primary street. No maximum length for porch / verandah
- Secondary street setback 1.0m minimum

**FENCING**

- All fencing is to be in accordance with the Wungong Urban Water Project Area Design Guidelines.
- Fencing to Forrest Road shall be no higher than 1.8m above the natural ground level and visually permeable above 1.2m.
- Any Estate fencing provided by the developer on private lots shall not be modified without written approval from the determining authority and shall be maintained as visually permeable by landowners.

**CORNER LOTS (LOTS 403, 404, 420, 425, 451, & 476)**

- Dwellings on corner lots must address the secondary street. The design of dwellings shall include at least one major opening facing the direction of the secondary street located no greater than 3.0m behind the dwelling alignment.



**LEGEND:**

- LDP Boundary
- Suburban (R35)
- Urban (R50)
- No vehicular access - visually permeable above 1.2m
- X Designated double garage location
- TG Denotes tandem garage only
- S Denotes 'squat lot'
- Bin pads for Lots 804 - 806 as per Groundwork Engineers detail design drawing 6197-200 and for Lots 408, 409 and 410
- Bushfire Attack Level (BAL)
- BAL 12.5
- BAL 19
- BAL 29
- All other lots BAL LOW

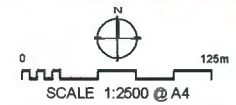
LOT 2029

EXISTING SUBDIVISION

METROPOLITAN REDEVELOPMENT  
AUTHORITY  
**01 APR 2020**  
**RECEIVED**

**ENDORSEMENT**  
This Local Development Plan has been approved by the Metropolitan Redevelopment Authority in accordance with the requirements of the Armadale Redevelopment Scheme 2.  
*[Signature]*  
Executive Director Planning  
Date: 2/4/20

**LOCAL DEVELOPMENT PLAN  
LOT 16 (No. 315) FORREST ROAD  
HILBERT**



**GRAY & LEWIS**  
LAND USE PLANNERS  
PO Box 234  
Floreat, WA 6014  
T (08) 9474 1722  
M 0419 474 172  
geoff@graylewis.com.au



## Plan Information

Tenure Type	Freehold
Plan Type	Deposited Plan
Plan Purpose	Subdivision

## Plan Heading

LOTS 453-468, 471-478, 491, 801-803, 805-806, 9004-9005, ROADS AND EASEMENT

## Locality and Local Government

Locality	HILBERT
Local Government	CITY OF ARMADALE

## Planning Approval

Planning Authority	Western Australian Planning Commission
Reference	157350, 156086

## Roads

New Road or Extension (Road Name Approval)	Yes
--	-----

Road Name	Locality
LAUFER AVENUE	HILBERT
COMET WAY	HILBERT

## Survey Details

Survey Method	Special Survey
Field Records	138506
Declared as Special Survey Area	Yes

## Survey Method Regulatory Statement

Survey carried out under Reg. 26A Special Survey Area Guidelines. See survey sheet(s) to determine the true final position and type of all survey marks placed for this plan.

## Survey Certificate - Regulation 54

I hereby certify that this plan is accurate and is a correct representation of the ----  
(a) \* survey; and/or  
(b) \* calculations from measurements recorded in the field records;  
[\* delete if inapplicable]  
undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.

CRAIG ANDREW MILLER Licensed Surveyor	Date
--	------

## Survey Organisation

Name	VISION SURVEYS
Address	SCARBOROUGH 6019
Phone	6144 0000
Fax	6144 0099
Email	info@visionsc.com.au
Reference	VS004333 - Forrest Rd 315

## Amendments

Version	Lodgement Type	Amendment Description	Date
1	New Plan	Lodged	18/12/2022
2	Replacement Plan	Addition of Easement (33b)	09/01/2023
3	Replacement Plan	Correction of misplaced dimensions within Lot 9005.	16/02/2023
4	Replacement Plan	Portion of easement A on Lot 491 removed	

## Former Tenure

New Lot / Land	Parent Plan Number	Parent Lot Number	Title Reference	Parent Subject Land Description
453-468, 471-478, 491, 801-803, 805-806, 9004-9005	P8081	LOT 16	1280-378	

## Former Tenure Interest and Notifications

Subject	Former Tenure	Action	Lots On This Plan	Origin	Endorsement	Comments
(A)	16/P8081	Brought forward (with application to surrender portion)	LOT 9004	DOC 0081963	EASEMENT TO CITY OF ARMADALE FOR PUBLIC ACCESS PURPOSES - SEE DEPOSITED PLAN 414563 REGISTERED 31/1/2019.	

## New Interests

Subject	Purpose	Statutory Reference	Origin	Land Burdened	Benefit To	Comments
(B)	EASEMENT	SEC. 195 & 196 OF THE LAA 1997	DOC	LOT 9004	CITY OF ARMADALE & THE PUBLIC AT LARGE	
(33b)	EASEMENT (Water Supply)	SEC. 167 OF THE P&D ACT 2005, REG. 33 (B)	THIS PLAN	LOT 9004	WATER CORPORATION	

## New Memorials and Notifications

Subject	Purpose	Statutory Reference	Origin	Land Burdened	Benefit To	Comments
	NOTIFICATION (Hazards or Other Factors)	SEC. 165 OF THE P&D ACT 2005	DOC	LOT(S) 453-468, 471-478, 801-803, 805-806		Subject to Bushfire Management Plan

## Vesting Lots

Land	Purpose	Statutory Reference	Origin	Comments
LOT 491	RESERVE FOR RECREATION & DRAINAGE	SEC. 152 OF THE P&D ACT 2005	THIS PLAN	



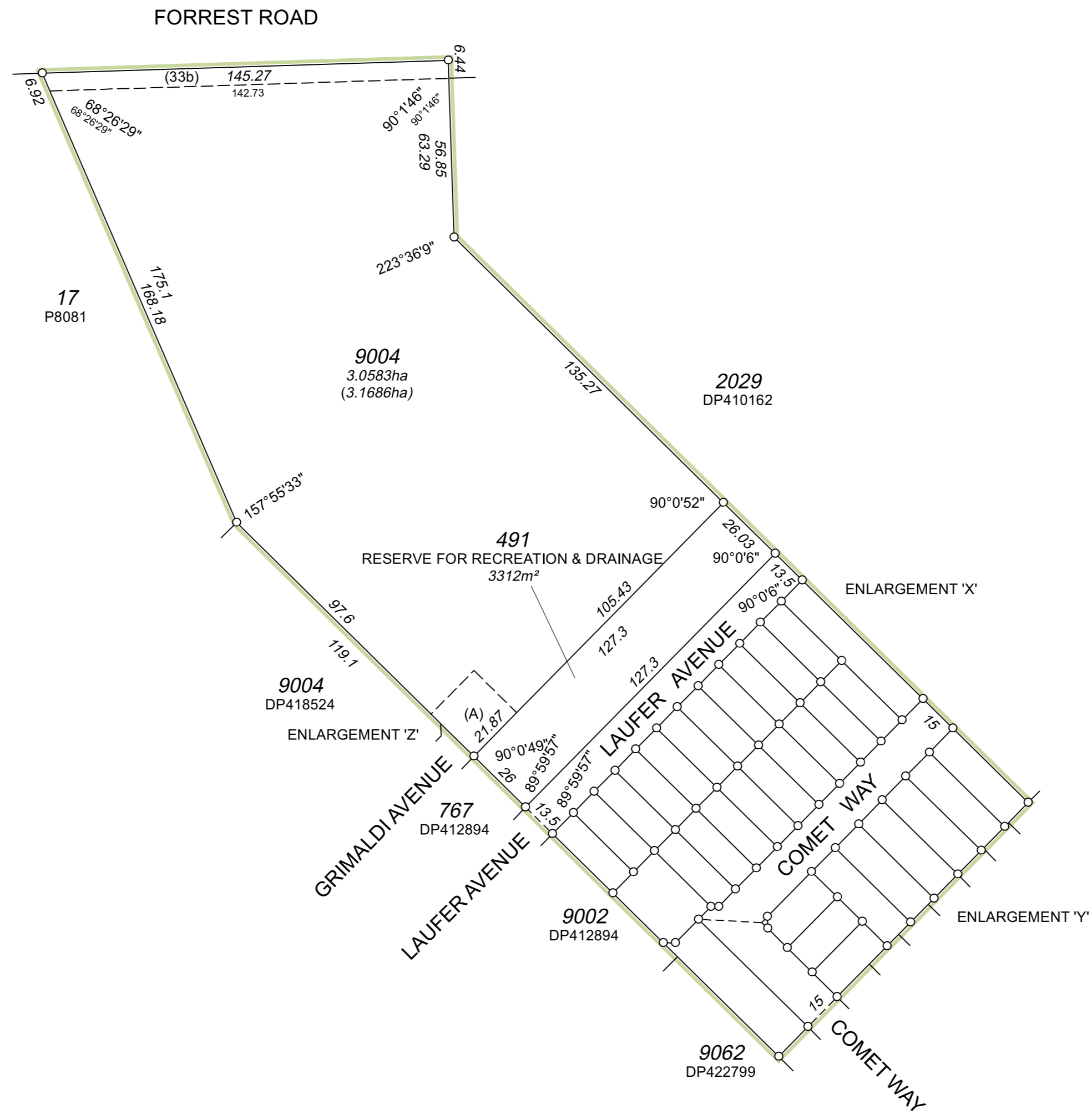
TEL (08) 6144 0000 | FAX (08) 6144 0099  
59 SCARBOROUGH BEACH RD, SCARBOROUGH WA 6019  
email: info@visionsc.com.au | www.visionsurveys.com.au

ADDITIONAL SHEETS  
ENDORSEMENT SHEET  
SURVEY SHEET

SHEET  
1 OF 5 SHEETS

VERSION NUMBER  
4

DEPOSITED PLAN  
414566



SCALE 1:1500 @ A2

10 0 50

ALL DISTANCES ARE IN METRES



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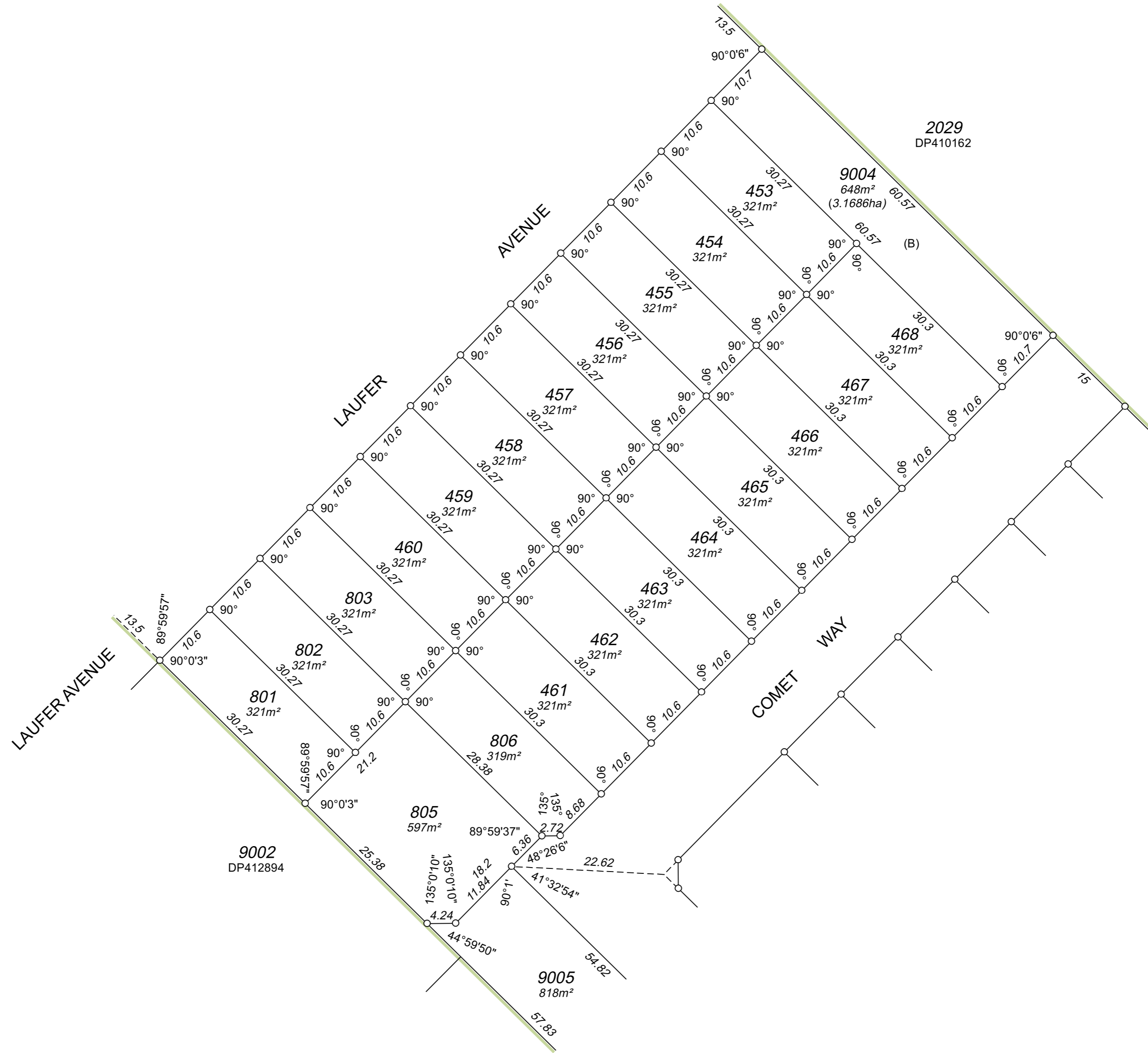
ADDITIONAL SHEETS  
 ENDORSEMENT SHEET  
 SURVEY SHEET

SHEET 2 OF 5 SHEETS

VERSION NUMBER 4

DEPOSITED PLAN 414566

# Enlargement 'X'



SCALE 1:500 @ A2  
 5 0 25  
 ALL DISTANCES ARE IN METRES



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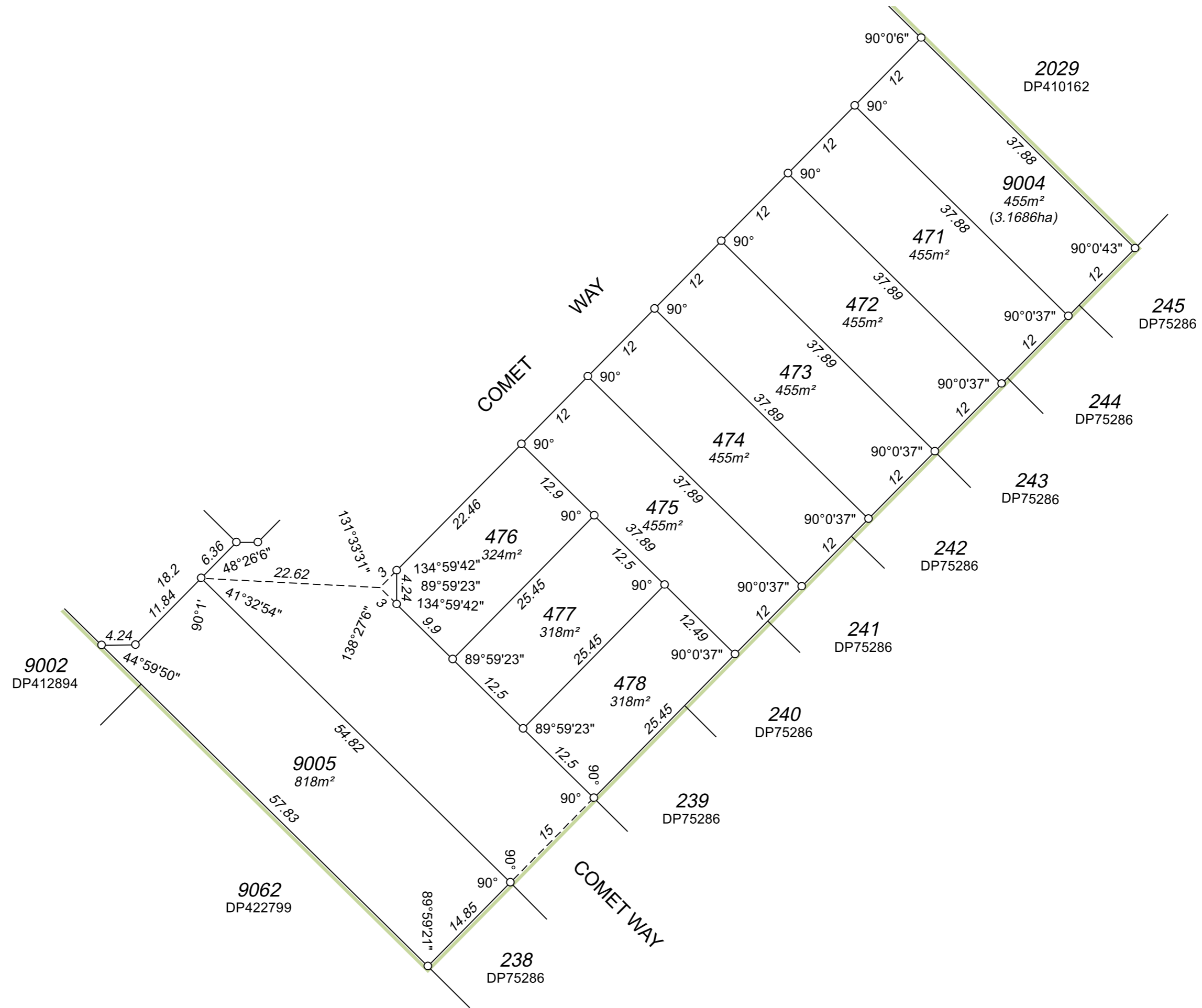
ADDITIONAL SHEETS  
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SHEET 3 OF 5 SHEETS

VERSION NUMBER 4

DEPOSITED PLAN 414566

# Enlargement 'Y'



SCALE 1:500 @ A2  
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 ALL DISTANCES ARE IN METRES



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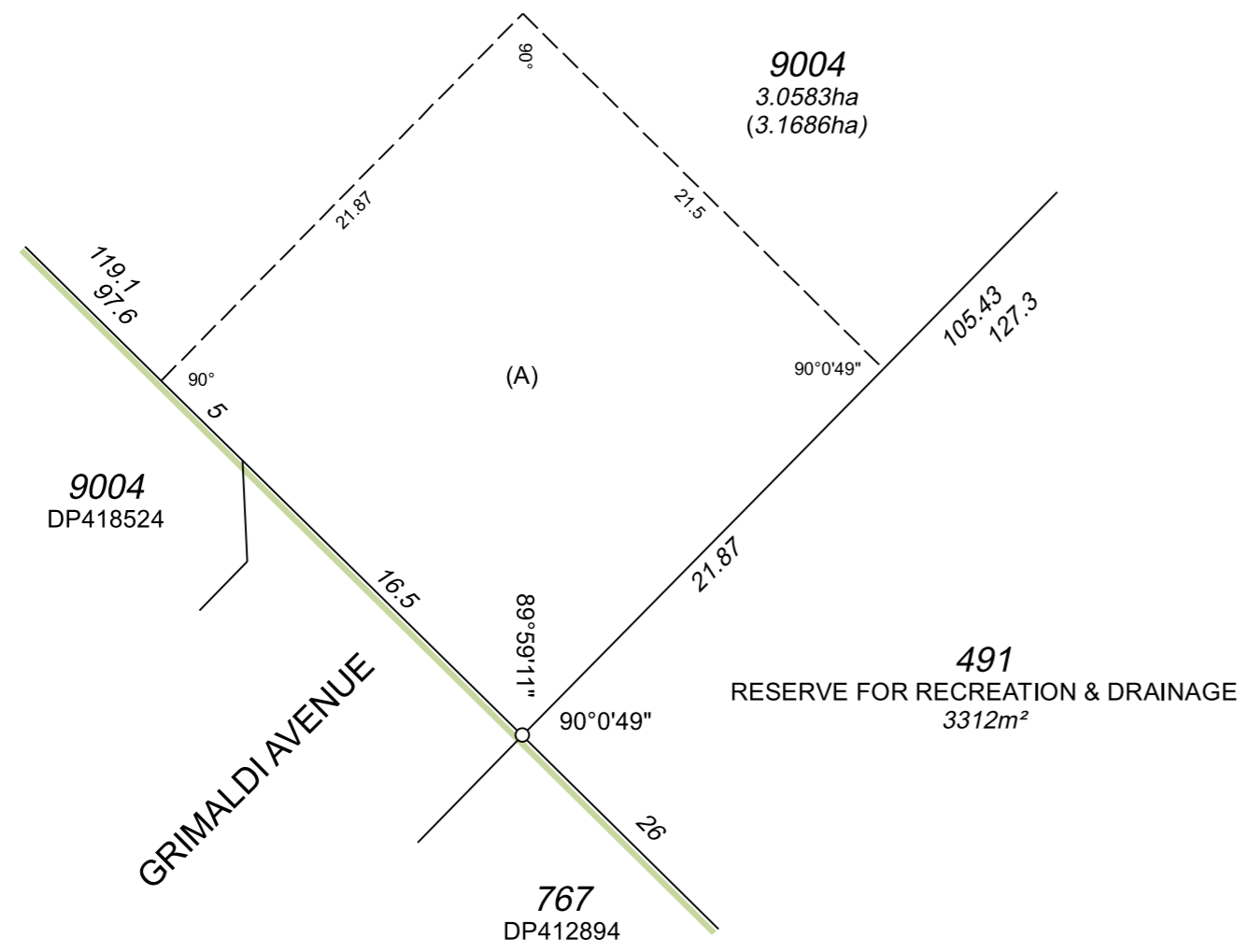
SHEET 4 OF SHEETS 5

VERSION NUMBER 4

DEPOSITED PLAN  
**414566**



Enlargement 'Z'



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SHEET 5 OF SHEETS 5

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