



ANNEXURE A

Section A ESTATE GUIDELINES

Estate Guidelines are applicable to all lots located within Symphony at Hilbert (“The Estate”) The Estate is described as the subdivision of Lot 28 on Diagram 33793 Volume 413 Folio 95A. The intended purpose of these Guidelines is to ensure that a minimum standard of building is achieved within the Estate.

1. All external walls of the dwelling house constructed on the land (“the dwelling”) shall be primarily of brick, stone, concrete or glass. Timber and timber substitute used in the dwelling construction shall be limited to 20% of wall area and roofing shall be of non-reflective material. eg. untreated zincalume shall not be used.
2. The dwelling shall have a minimum floor area of 120 square metres, measured to the external wall lines. “Floor area” does not include patios, outbuildings or carports and garages but may include an outdoor alfresco area, which is constructed under the main roof of the dwelling.
3. The dwelling shall have as a minimum a single carport or garage and in all cases constructed substantially of the same materials as the dwelling.
4. Carports shall be used only to store privately registered motor vehicles, registered boats or caravans. Commercial vehicles, tools, machinery, spare parts or household items must be garaged or stored away on the land so that they are screened from public view.
5. Solar hot water heaters or air conditioners may not be erected on the dwelling on that portion of the roof facing the street and where erected they shall be painted to match the colour of the roof of the dwelling.
6. Repairs or maintenance to motor vehicles, boats or machinery is prohibited from taking place on the land unless screened from public view.
7. No fence may be constructed on the land forward of the dwelling towards the street kerb alignment.
8. No dwelling constructed on the land may be occupied unless:

- a. a driveway is constructed from the street kerb alignment to the garage of the dwelling which driveway shall not be less than 3 metres wide and constructed entirely of brickpaving or concrete which is coloured and stenciled so as to imitate the visual aspect of brickpaving,
- b. a letter box is constructed on the land adjacent to the street frontage of the land made substantively out of the same materials as the dwelling.

Section B ACKNOWLEDGEMENTS

The Buyer acknowledges and agrees that:

1. Where a registered builder, or his representative, has referred the Buyer to the Land, that following settlement, the Seller may pay to that referee a fee.
2. The Buyer has made all relevant enquiries as to the suitability and zoning of the Land for the use and development proposed by the Buyer for the Land.
3. The Buyer has not relied on any representation by the Seller, its agents or servants as to the suitability of the existing ground conditions of the Land for the Buyer's proposed uses of the Land.
4. The Buyer has entered into this Contract and will proceed to Settlement relying entirely upon the Buyer's own independent appraisal and assessment of the Land.
5. The Seller is registered for GST.
6. The Seller is under no obligation to the Buyer to secure the positioning of the survey pegs or to reinstate the survey pegs on the land either before or after Settlement.
7. The land is registered under the Transfer of Land Act 1893 (as amended) and that the Buyer is not entitled to deliver any requisition on or objection to the title of the Seller to the Land and the Buyer hereby waives his/her right to do so.
8. Use and development of the land is controlled by the Metropolitan Redevelopment Authority's Wungong Urban Water Redevelopment Scheme 2007 ("Scheme"). In particular, the Scheme incorporates Zone Development Policy which varies the R-Codes. A copy of that policy may be downloaded from: <http://www.mra.wa.gov.au/projects-and-places/wungong-urban/documents>
9. A copy of the R-codes may be downloaded from: <http://www.planning.wa.gov.au/637.asp>

10. The Land and other lots in the Estate are subject to a Detailed Area Plan prepared in compliance with the Scheme, copy of which is annexed hereto and marked "C" ("DAP").
11. Rondelle Lorraine May is a Director and Licensee of Landwest Estate Agency, the selling agency and is a shareholder of the selling company, Citymaze Investments Pty Ltd.

Section C OTHER CONDITIONS

1. The Purchase Price is inclusive of GST and any GST payable under this sale will be calculated using the 'Margin Scheme' as defined in Division 75 of A New Tax System (Goods and Services Tax) Act 1999 and the Seller is not obliged to provide at settlement a Tax Invoice entitling the Buyer to an Input Tax Credit.
2. Conditions 14.5, 18.1, 18.2 and 18.3 of the General Conditions are deleted.
3. Subject to the provisions of Clause 6 below, the land is sold at the Purchase Price on an "as is where is" basis together with all the substances that may exist on, under or within the land as at the Contract Date whether or not those substances or any one of them happens to be at a quantity which might present risk to human health, the environment or any environmental value and the Buyer accepts the land as it comprises in all its substances, the property in which transfers to the Buyer at Settlement, and the Buyer waives all claim against the Seller to vary the quantity of those substances whether before or after settlement.
4. The Buyer agrees that: a. any buildings constructed on the Land must be positioned to ensure that they do not surcharge or undermine any Wall; and, b. a Wall may not or will not necessarily be located precisely on the boundaries of the Land as a separate lot.
5. The Land may be the subject of a special rates levy imposed by the City of Armadale. The Buyer should contact the City for further information.

Section D FENCING PACKAGE

The Seller hereby agrees to supply and install boundary fencing to behind the building line which is to be carried out by the Seller, which shall be subject to the following terms and conditions:

1. The Buyer shall complete construction of the dwelling in accordance with Local Authority approved plans.
2. Within eighteen months of the Settlement Date otherwise the eligibility of the Buyer to claim from the Seller the Fencing Package shall lapse.
3. Delivery of the fence, shall be through the Seller's fencing contractors whose details are as follows;

FENCING

(Contact 4 weeks prior to moving in)

Sam Collins

Delta Fencing

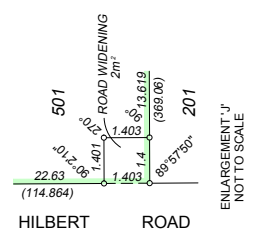
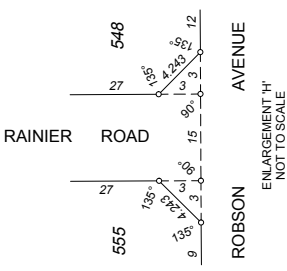
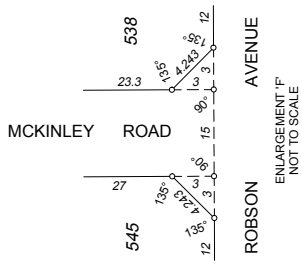
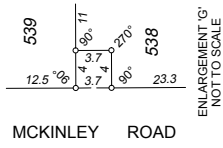
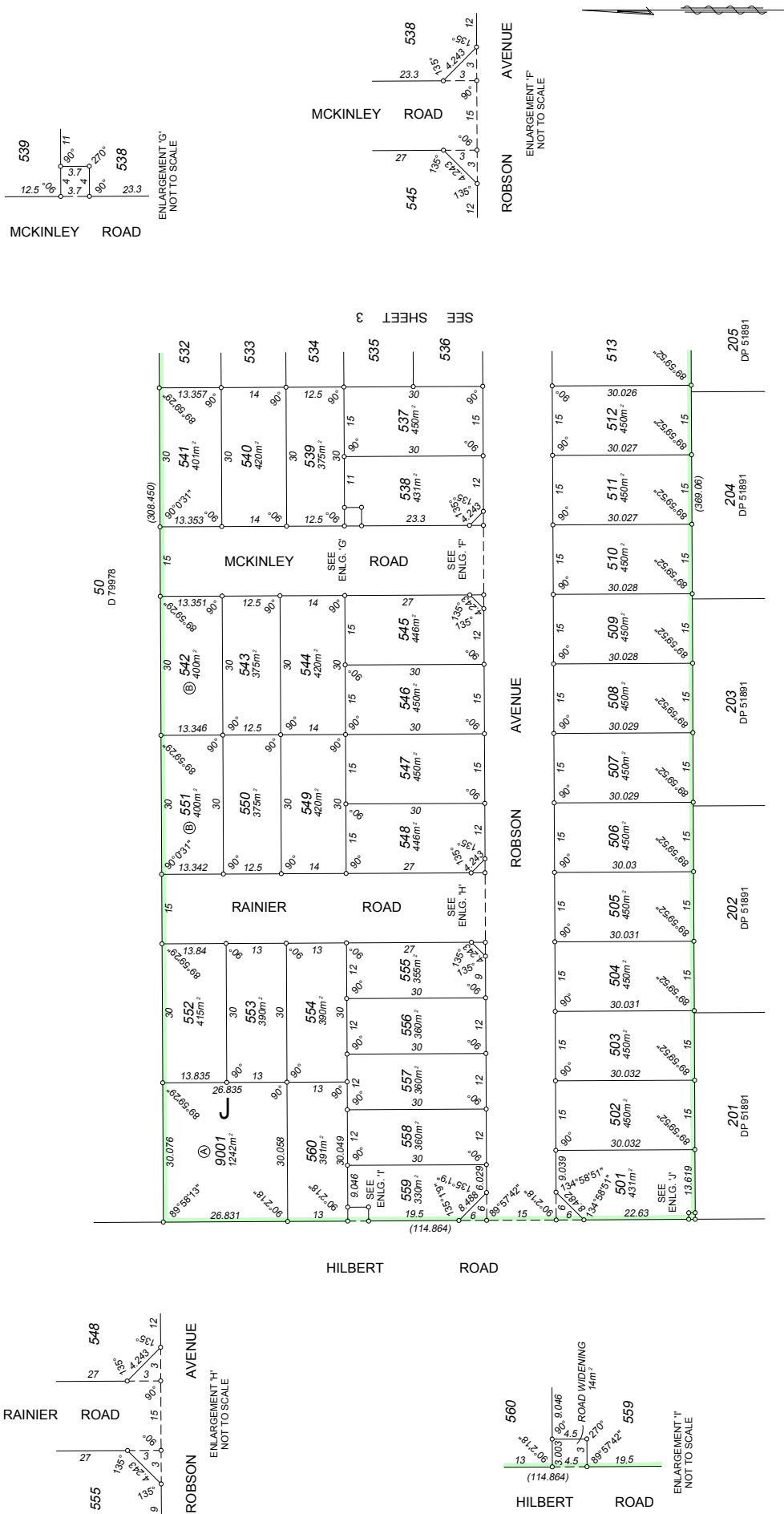
0433 471 793

admin@deltafencing.com

4. The benefit of Section D of this Contract with the Buyer is personal and is not capable of assignment.
5. The Seller may vary the contractor and their contact details referred to in Clause 3 above upon the giving of 14 days written notice to the Buyer.

ANNEXURE B

FOR HEADING SEE SHEET 1
FOR INTERESTS & NOTIFICATIONS SEE SHEET 1



SPECIAL SURVEY AREA
SUBDIVISION
SURVEY CARRIED OUT UNDER REG. 26A
SPECIAL SURVEY AREA GUIDELINES
SEE SURVEY SHEET(S) FOR SURVEY
INFORMATION

SCALE: 1:600 @ A2
ALL DISTANCES ARE IN METRES



LICENSED SURVEYOR DATE

DEPOSITED PLAN
406274
SHEET 02 OF 03 SHEETS
(PLUS SURVEY SHEET(S)
VERSION 2)

HELD BY LANDGATE IN DIGITAL FORMAT ONLY



ISION SURVEYS
Licensed & Engineering Surveyors
Land Management
Consultants
Project Managers
100/101 Scarborough Beach Rd.
50 SCARBOROUGH WA 6019
Email: info@isionveys.com.au

DETAILED AREA PLAN
LOT 28 HILBERT ROAD, HILBERT

LEGEND:

- DAP Boundary
- Specified DAP provisions boundary as required under WAPC approval (REF: 149721)
- ⊗ Designated Double Garage Location
- ⊗ Alternative Garage Location

ANNEXURE C



This Detailed Area Plan has been approved by the Metropolitan Redevelopment Authority in accordance with clause 4.4 of the Wungong Urban Water Redevelopment Scheme.

CEO MRA *[Signature]* Date 29.2.16

GENERAL PROVISIONS

All lots on this DAP are identified as 'Suburban' under the Wungong Urban Water Redevelopment Scheme 2007 (the Scheme). This DAP provides additions and variations to the acceptable development provisions of the Scheme and the Zone Development Policy - Residential Zones (ZDP) as detailed below. The requirements of the Scheme and the ZDP shall be satisfied in all other matters.

This DAP applies only to Lots 531 - 534 and Lot 559 except for the stormwater drainage provision noted below - which applies to all lots.

Designated garage locations for all corner lots have also been shown on the DAP.

VARIATIONS TO THE ZONE DEVELOPMENT POLICY - LOTS 531 - 534 AND LOT 559

Garage Setbacks

- Garages shall be setback a minimum 3.5m from the primary street.
- Garages shall be setback a minimum of 0.5m from the main building line (excluding any porch, verandah or balcony).
- Garages shall be setback a minimum of 1.5m from the secondary street.

INCIDENTAL DEVELOPMENT REQUIREMENTS - ALL LOTS

- All stormwater drainage will be directed to on-site soakwells in accordance with 100 L of storage per 10m² of connected roof or impervious area (as described in the approved Urban Water Management Plan). All soakwells are to be inter-connected and the depth of the soakwell units shall not exceed 900mm. Each lot is to provide a grated overflow from one front soakwell or connection pit for relief of stormwater flows in excess of the on-site storage capacity.
- Drying areas shall be located at the side of the dwellings and screened from the street and POS.
- Outbuildings shall be designed and constructed from materials to match the dwelling when visible from the public realm.



NOTE
Pavements diagrammatic only

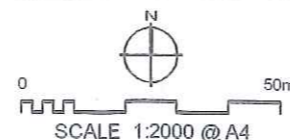
DETAILED AREA PLAN (LOCAL DEVELOPMENT PLAN)

LOT 28 (No. 161) HILBERT ROAD
HILBERT

PREPARED FOR CITIMAZE INVESTMENTS PTY LTD

DATE: 24th FEBRUARY 2016

THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM WHATSOEVER IS PROHIBITED.



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BUSHFIRE ATTACK LEVEL (BAL) CONTOUR ASSESSMENT

Lot 28, Hilbert Rd, Hilbert

Version: 1.1 Reference: 5235 July 2016



DISCLAIMER AND LIMITATION

This report is prepared solely for **Citymaze Investment Pty Ltd** (the 'proponent') and is not for the benefit of any other person and may not be relied upon by any other person.

This Bushfire Attack Level (BAL) Contour Assessment is limited to the BAL Contour Map scope as identified in SPP 3.7 Guidelines for Planning in Bushfire Prone Areas Appendices, Appendix three (3). AS3959:2009 Methodology one (1) was used for the determination of the assessment. It is expressly stated that RUIC Fire and the writer do not guarantee that if such standards are complied with or if a property owner exercises prudence, that a building or property will not be damaged or that lives will not be lost in a bush fire.

Fire is an extremely unpredictable force of nature. Changing climatic factors (whether predictable or otherwise) either before or at the time of a fire can also significantly affect the nature of a fire and in a bushfire prone area it is not possible to completely guard against bushfire.

Further, the growth, planting or removal of vegetation; poor maintenance of any fire prevention measures; addition of structures not included in this report; or other activity can and will change the bushfire threat to all properties detailed in the report. Further, the achievement of the level of implementation of fire precautions will depend on the actions of the landowner or occupiers of the land, over which RUIC Fire has no control. If the proponent becomes concerned about changing factors then a new Fire Risk Management Plan should be requested.

To the maximum extent permitted by the law, RUIC Fire, its employees, officers, agents and the writer ("RUIC Fire") excludes all liability whatsoever for:

1. claim, damage, loss or injury to any property and any person caused by fire or as a result of fire or indeed howsoever caused;
2. errors or omissions in this report except where grossly negligent; and

the proponent expressly acknowledges that they have been made aware of this exclusion and that such exclusion of liability is reasonable in all the circumstances.

If despite the provisions of the above disclaimer RUIC Fire is found liable then RUIC Fire limits its liability to the lesser of the maximum extent permitted by the law and the proceeds paid out by RUIC Fire's professional or public liability insurance following the making of a successful claim against such insurer.

RUIC Fire accepts no liability or responsibility whatsoever for or in respect of any use or reliance upon this report and its supporting material by any third party.

This report is valid for a period of THREE years only from the date of its issue.



DOCUMENT DETAILS

Project Number: 5235
Project Name: Lot 28, Hilbert Road, Hilbert
Prepared By: Luke Miles
Version: 1.1 FINAL ISSUE
Date of issue: 19th July 2016



Grad Cert Bushfire Protection, BPAD Level 1 (BPAD33412)

Final Approval

Date: 19/07/2016

In signing the above, I declare the report is true and accurate to the best of my knowledge at the time of issue.

RUIC Fire is a trading name of
Rural Fire Risk Consultancy Pty Ltd
ABN: 48 151 451 713

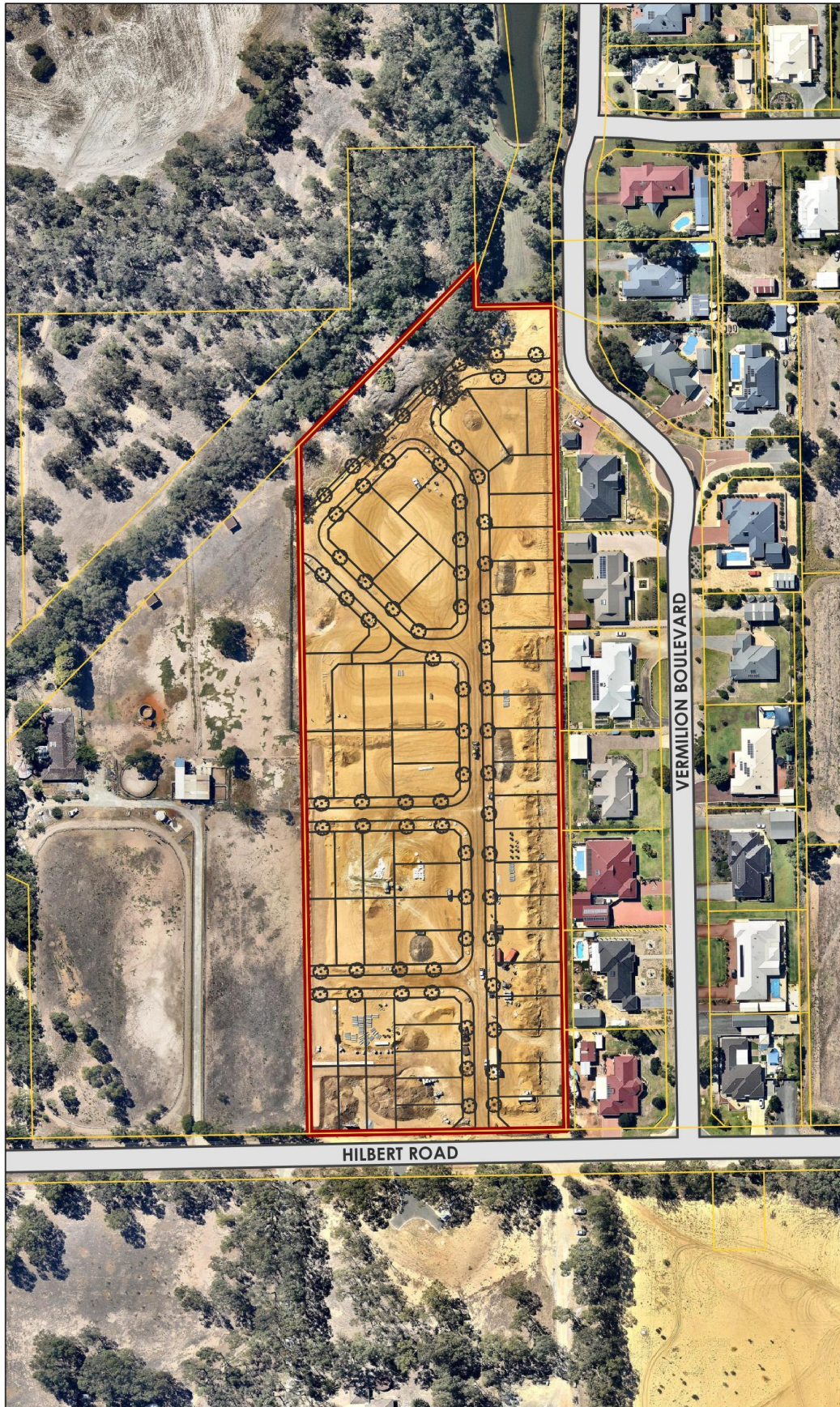
EXECUTIVE SUMMARY

Rural Fire Risk Consultancy Pty Ltd, trading as RUIC Fire, was engaged by the proponent to prepare this Bushfire Attack Level (BAL) Contour Map to support residential development of Lot 28 Hilbert Road, Hilbert (Figure i).

The BAL Contour Map was prepared in accordance with State Planning Policy 3.7 Guidelines for Planning in Bushfire Prone Areas (GPBPA), Appendix three (3). The BAL assessment was carried out in accordance with AS3959:2009 Simplified Procedure (Method 1) for all plots.

Conclusions of the BAL Contour Map assessment are depicted in Figure ii:

1. The maximum radiant heat impact applicable to any of the identified lots is <math><40 \text{ kW/m}^2</math>, which is equivalent to a BAL-29 rating;
2. The BAL ratings are not prohibitive of any proposed development.
3. Future Class 1, 2, 3 and associated Class 10a buildings will be required to comply with the construction requirements of AS3959:2009 (where applicable) and will be subject to relevant bushfire related planning conditions; and



5235_001_01_RoseMap_20160421
 Projection: GDA94 MGA50
 Author: MW - RUIC | Date: 2016-04-26
 Data Source: Cadastre - Landgate; Imagery - Neomaps;
 Roads: Site Boundary - RUIC,
 Disclaimer: Although the data within this map is considered accurate at the time of creation, RUIC does not guarantee, and accepts no legal liability whatsoever arising from or connected to, the accuracy, reliability, currency or completeness of any data used within this map.

Size: A4
 Scale: 1:2,200

Site Boundary
 Cadastre
 Main Road

BUSHFIRE MANAGEMENT PLAN MAP
Lot 28 Hilbert Road, Hilbert

RUIC FIRE
 1300 797 607
 ruicfire.com.au

Site Overview

Figure i: Site Location

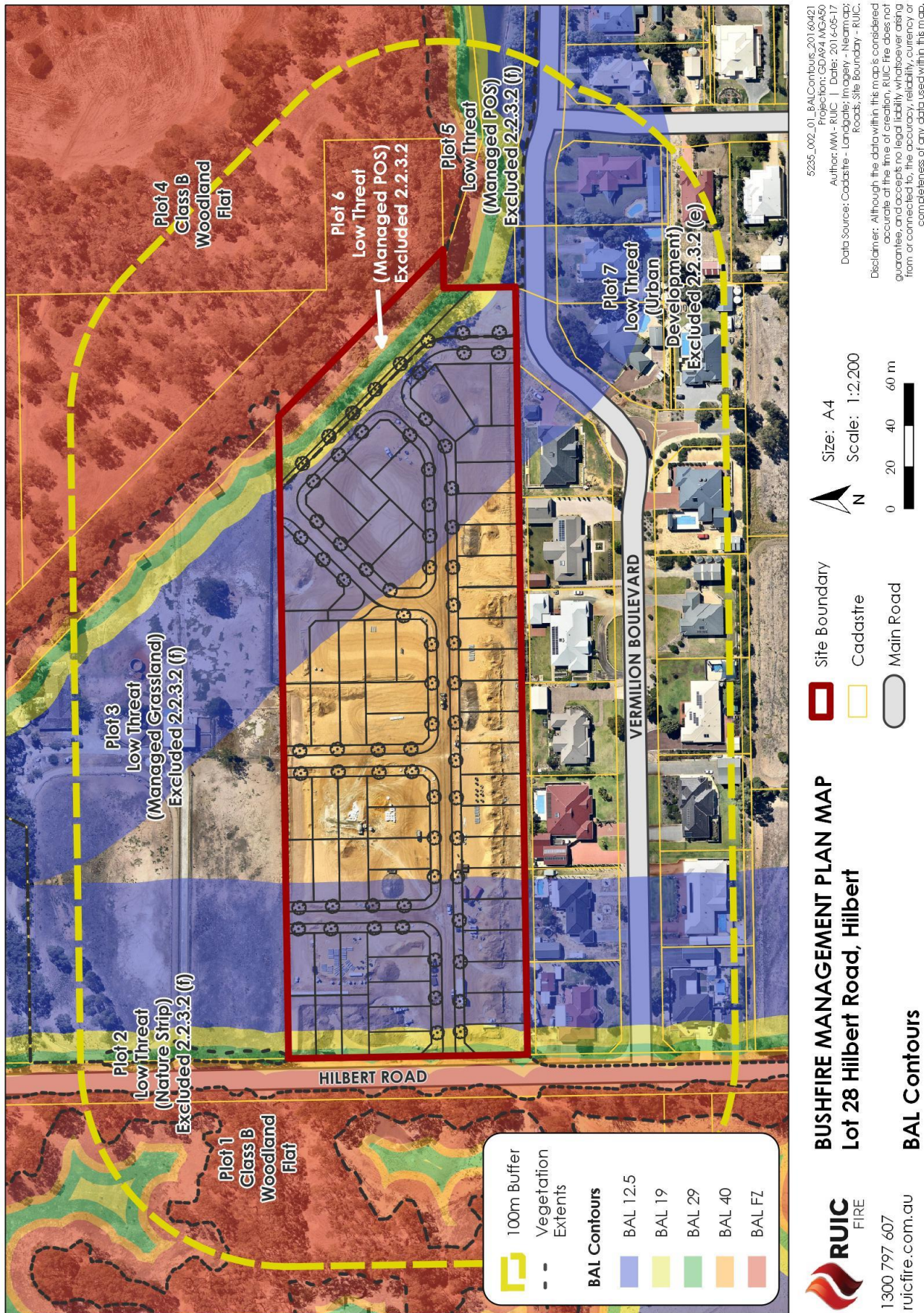


Figure ii: BAL Contour map

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1.0 Introduction

1.1 Purpose of Report

Rural Fire Risk Consultancy Pty Ltd, trading as RUIC Fire, was engaged by the proponent to prepare this BAL Contour Map to support residential development within Lot 28 Hilbert Road, Hilbert (Figure i).

The purpose of this BAL Contour map is to:

1. Illustrate the potential radiant heat impacts and associated indicative BAL ratings in reference to any classified vegetation remaining within 100 meters of the assessment area after the development is complete
2. Determine whether the radiant heat impacts (post-development) will be prohibitive of future works.

This report is *not* a Bushfire Management Plan. Should a Bushfire Management Plan be required a separate report is required.

1.2 BAL Assessment

The site was inspected on the 12th of April 2016 and 07th June 2016 and all areas within 100m of Lot 28 Hilbert Rd were assessed in accordance with AS3959:2009 Methodology 1.

All land assessed was identified as being consistent with having an effective slope of upslope/flat land.

BAL vs separation distance tables, extracted from AS3959:2009 Table 2.4.3, are provided within Table 1A for all classifiable vegetation within 100m of the identified lots (excluding Low Threat Plots 2, 3, 5, 6, & 7). The BAL rating for each vegetation threat was calculated with the highest BAL rating being applicable to each lot. Separation distance to classified vegetation includes roads, managed low threat areas and is measured from the lot boundaries to the edge of the classified vegetation.

Table 1A: BAL Assessment (Class B Woodland) Plots 1 & 4.

Vegetation	Effective Slope	Separation (m)	BAL
Class B Woodland	Flat/Upslope	Less than 10m	BAL-FZ
		10 to less than 14m	BAL-40
		14 to less than 20m	BAL-29
		20 to less than 29m	BAL-19
		29 to less than 100m	BAL-12.5
		Greater than 100m	BAL-LOW

The highest BAL rating that applies to any lot within the development is **BAL-29**.

1.3 Low Threat Exclusions

Internally and within 100m of the site, low threat exclusions in accordance with AS3959:2009 have been identified as;

- Clause 2.2.3.2 (f) – Managed vegetation areas, nature strips and parklands; AND
- Clause 2.2.3.2 (e) – Non-vegetated areas.

1.4 Plot Photographs

The following plates illustrate the classifiable vegetation structures per plot;



Plot 1 – Class B Woodland



Plot 1 – Class B Woodland



Plot 2 – Excluded AS3959:2009 c2.2.3.2(f)



Plot 2 – Excluded AS3959:2009 c2.2.3.2(f)



Plot 3 – Excluded AS3959:2009 c2.2.3.2 (f)



Plot 3 – Excluded AS3959:2009 c2.2.3.2 (f)



Plot 4 – Class B Woodland



Plot 4 – Class B Woodland

Plots 5 and 6 are Public Open Space (POS) which is included the development of the lot.

1.5 Lot BAL Ratings

The BAL ratings per lot are indicated within the following table. Where the BAL rating for any proposed building can be reduced through site setback, that setback distance from the appropriate boundary is indicated. Where lot numbers are not indicated, the lot is greater than 100m from classifiable vegetation in accordance with AS3959, and therefore adopts a BAL-LOW rating.

Table 1C: Maximum BALs for each lot identified within 100m of Bushfire prone vegetation

Lot	Maximum BAL	Setback from boundary to achieve reduced BAL		
		Setback	Boundary	BAL achievable
501	29	6.1m	West	19
502 - 506	12.5	-	-	12.5
517	12.5	3.5m	North East	LOW
518 - 529	12.5	-	-	12.5
531 - 533	12.5	-	-	12.5
534	12.5	4.8	East	LOW
548 - 557	12.5	-	-	12.5
558	19	2.4m	West	12.5
559	29	6.1m	West	19
560	29	4.5m	West	19
561 - 562	29	4.1m	West	19

1.6 Bushfire Attack Levels Explained

A Bushfire Attack Level (BAL) assessment is a means of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact in a bushfire event, and thereby determining the construction measures required for the dwelling.

The methodology used for the determination of the BAL rating, and the subsequent building construction standards, are directly referenced from Australian Standard AS3959:2009 *Construction of buildings in bushfire prone areas*.

The BAL rating is determined through identification and assessment of the following parameters;

- Fire Danger Index (FDI) rating; assumed to be FDI-80 for WA,
- All classified vegetation **within 100m** of the subject building,
- Separation distance between the building and the classified vegetation source/s, and
- Slope of the land under the classified vegetation.

AS3959:2009 has six (6) levels of BAL, based on the radiant heat flux exposure to the building, and also identifies the relevant sections for building construction, as detailed below;

Bushfire Attack Level (BAL)	Classified vegetation within 100m of the site and heat flux exposure thresholds	Description of predicted bushfire attack and levels of exposure	Construction Section (within AS3959)
BAL-LOW	See clause 2.2.3.2	There is insufficient risk to warrant specific construction requirements	4
BAL-12.5	$\leq 12.5\text{kW/m}^2$	Ember attack	3 & 5
BAL-19	$>12.5\text{kW/m}^2$ to $\leq 19\text{kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 & 6
BAL-29	$>19\text{kW/m}^2$ to $\leq 29\text{kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 & 7
BAL-40	$>29\text{kW/m}^2$ to $\leq 40\text{kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux with the increased likelihood of exposure to flames	3 & 8
BAL-FZ	$>40\text{kW/m}^2$	Direct exposure to flames from fire front in addition to heat flux and ember attack	3 & 9

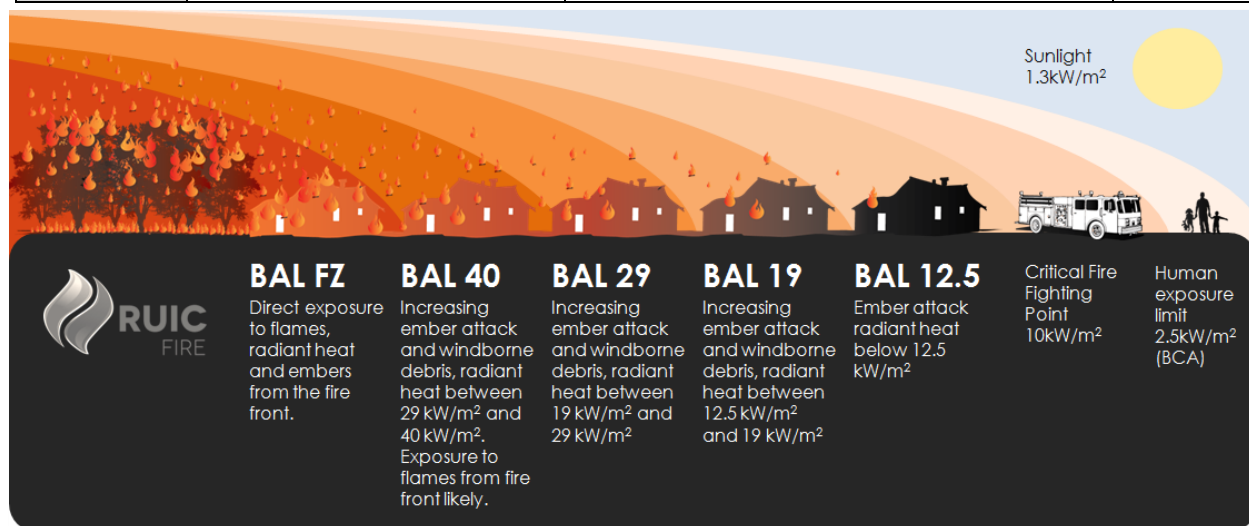


Figure 1E: BAL Overview